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Planning Commission Staff Report

TO: PLANNING COMMISSION

FROM: STEPHANIE BUBENHEIM, PLANNER II *SB*
(480) 503-6625, STEPHANIE.BUBENHEIM@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, PRINCIPAL PLANNER *chl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: MARCH 4, 2020

SUBJECT: UP19-35, QUINTANA AT VERDE: A CONDITIONAL USE PERMIT FOR APPROX. 4.4 ACRES GENERALLY LOCATED SOUTH OF THE SOUTHEAST CORNER OF VERDE DRIVE AND WILLIAMS FIELD ROAD, TO ALLOW RESIDENTIAL UNITS ON THE GROUND FLOOR IN THE GATEWAY VILLAGE CENTER (GVC) ZONING DISTRICT WITH A PLANNED AREA DEVELOPMENT (PAD) OVERLAY.

STRATEGIC INITIATIVE: Exceptional Built Environment

To allow a high-density multi-family development integrated into the mixed-use Verde at Cooley Station area.

RECOMMENDED MOTION

Make the Findings of Fact and approve UP19-35, Quintana at Verde: a Conditional Use Permit for approx. 4.4 acres generally located south of the southeast corner of Verde Drive and Williams Field Road, to allow residential units on the ground floor in the Gateway Village Center (GVC) zoning district with a Planned Area Development (PAD) overlay, subject to conditions.

APPLICANT

Company: EPS Group, Inc.
Name: Natalie Griffin
Address: 2045 S. Vineyard, Ste. 101

OWNER

Company: SB2-VB LLC/Brody Associates
Name: Norm Brody
Address: 7702 E. Doubletree Ranch Rd Ste. 300

Mesa, AZ 85210

Phone: 480-503-2250

Email: Natalie.griffin@epsgroupinc.com

Scottsdale, AZ 85258

Phone: 480-902-3077

Email: nbrodyaz@gmail.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>December 19, 2006</i>	Town Council adopted Annexation No. A05-03, Ordinance No. 1878 annexing 738 acres at Recker and Williams Field Roads.
<i>March 6, 2007</i>	The Town Council adopted Ordinance No. 1900 in case Z06-74 to rezone approximately 302 acres for the Cooley Station – Residential, Office and Shopping Center PAD.
<i>July 17, 2007</i>	The Town Council adopted Ordinance No. 1995 in case Z06-96 to rezone approximately 124.5 acres for the Cooley Station – Village and Business Center PAD.
<i>June 24, 2008</i>	The Town Council adopted Ordinance No. 2179 in case Z07-117 approving an amendment to approx. 300 acres in the Cooley Station – Residential, Office and Shopping Center PAD to revise several conditions of Ordinance No. 1900 in zoning case Z06-74, modifying development standards for building and landscape setbacks, and revising the street exhibits.
<i>February 15, 2018</i>	Town Council approved Cooley Development Agreement in Resolution No. 3955 redefining the Cooley Station Village Center and respective construction and financial obligations.
<i>January 22, 2019</i>	Town Council approved GP18-10 and Z18-20, adopting Resolution No. 4032 and Ordinance No. 2699 rezoning 57.16 acres and creating the Verde at Cooley Station Planned Area Development.
<i>January 22, 2019</i>	Town Council approved a first Amendment to the Restated Cooley Development Agreement in Resolution No. 4033 updating exhibits in the agreement.
<i>February 6, 2019</i>	Planning Commission approved DR18-206 Verde at Cooley Station master site plan and phase I improvements.
<i>August 15, 2019</i>	DR19-59 Verde at Cooley Station Phase II – Buildings H/I, J, and M were approved administratively.
<i>September 4, 2019</i>	Planning Commission reviewed UP19-35 and DR19-109 as Study Session items.
<i>October 17, 2019</i>	Town Council approved Z19-14 and adopted Ordinance No. 2735 amending 57.16 acres of the Verde at Cooley Station PAD to update the street cross sections.
<i>October 21, 2019</i>	DR18-206-A an amendment to Verde at Cooley Station Phase I was approved administratively to include improvements to Verde Drive.
<i>January 8, 2020</i>	UP19-35, DR19-109 Quintana at Verde was continued to the February 5, 2020 Planning Commission public hearing to address outstanding review comments.

<i>February 5, 2020</i>	UP19-35, DR19-109 Quintana at Verde was continued to the March 4, 2020 Planning Commission public hearing to address outstanding review comments.
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Overview

The applicant is proposing a 195 unit multi-family project called Quintana within Verde at Cooley Station, a larger mixed-use project in the heart of Cooley Station Village Center within the Gateway Character Area. The development will have studio, 1 bedroom, and 2 bedroom units available with a clubhouse, co-working space, indoor bike storage, fitness center, kids space, storage units, and a 3rd floor rooftop deck with bbq kitchen proposed as amenities for the residents.

The multi-family project will supplement the commercial center previously approved as the second of three parts of Verde at Cooley Station, within the greater 57 acres of the Verde at Cooley Station PAD. The proposed development will be located south of the southeast corner of Verde Drive and Williams Field Road and will be integrated into the mixed-use development directly north of the site. Quintana will have two multi-unit 4-story buildings placed along the north and east boundaries of the 4.44 acre site. The project includes a portion of the 35' wide pedestrian corridor spine to the east of the site that will provide a multi-use pathway connection from Williams Field Road to the future commuter rail station.

In addition to the Conditional Use Permit, a Design Review Case (DR18-109) is running concurrently with this case. The Conditional Use Permit (CUP) is being requested to allow ground floor residential units within the Gateway Village Center (GVC) zoning district in keeping with the development plan approved with the rezoning case Z18-20 and the vision of the Verde at Cooley Station master plan of an integrated mixed-use village center community. The CUP must be approved prior to approval of the Design Review submittal. The project was previously continued due to an outstanding fire and water conservation comments that have now been resolved.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Residential >14-25 DU/Acre and General Commercial	Multi-Family/Medium (MF/M) PAD and General Commercial (GC) PAD	Verde at Cooley Station commercial center
South	Business Park	Gateway Business Center (GBC) PAD	Vacant/Agricultural
East	Village Center	Gateway Village Center (GVC) PAD	Vacant/Agricultural
West	Business Park	Gateway Business Center (GBC) PAD	Vacant/Agricultural
Site	Village Center	Gateway Village Center (GVC) PAD	Vacant/Agricultural

Project Data Table

Site Development Regulations	Required per GVC/and Ordinance Nos. 2699, 2753	Proposed
Floor Area Ratio	0.10 - 0.75	0.10 - 0.75
Maximum Building Height (ft.)/Stories	90’/6	56’6”/4
Minimum Building Setbacks (ft.)		
Front	0’	0’
Side (Nonresidential)	0’	0’
Side (Residential)	0’	20’
Rear (Nonresidential)	0	17.5’ (Landscape and Pedestrian Access Easement)
Build-to Line (ft.)		
Front	0’	0’
Side (Street)	0’	0’
Landscape- On-Site	Minimum 5% net lot area	12%
Storefronts and Access	40% for residential or office window, window displays, and door coverage on ground floor.	40%
Building Transparency	View windows, window displays, or doors may be provided between 0 and 8 feet above grade adjacent to the principal building frontage on the ground floor.	All windows along 1 st floor have been modified to be 0 to 8 feet above grade.

DISCUSSION

The applicant is requesting a Conditional Use Permit to allow ground floor residential units within the Gateway Village Center (GVC) zoning district. The subject site is part of the Verde at Cooley Station mixed-use master site plan and is shown as multi-family residential/mixed use on the development plan. Multi-family has been a proposed aspect as part of the full Verde at Cooley Station development to fully submerge the area into a mixed-use setting. With the availability of 0’ setbacks, the proposed development will be able to integrate into the private street to the north with angled parking, part of the commercial development of Verde. The result will be two separate developments integrated as one and an open flow between the uses. Both residential buildings of Quintana propose 1st floor residential units. Units along the future Cooley Station pedestrian trail along the east property line will encourage increased interaction and activity along the trail.

The intent behind requiring a conditional use permit for ground floor residential in the Land Development Code was to promote commercial and retail uses along the 1st floor of the Gateway Village Center to promote businesses and activity when the zoning district was created in 2006. As the retail and commercial market has changed over the years and the Verde at Cooley Station development plan has been solidified, the subject site has been envisioned to utilize ground level

residential units as part of the master development and is seeking approval of the CUP and Design Review case.

In addition to providing direct access from patios for all 1st floor units, the 1st floor units have also been designed with architectural details to stand apart from the upper floors of the apartment complex. Ground level units have incorporated a step to create a brownstone stoop-like effect leading up to the patios. Some units will also have railings along the steps. By using the Fuego Red brick and various changes to stucco the pedestrian scale design of the ground level unit contributes to the streetscape along Verde Drive, the private drive the north and the pedestrian corridor along the east. The ground level units will have patios with half walls and openings leading to short stoops. Some of the ground level units have extended patios that project from the building wall plane. The attention to detail will greatly enhance the environment of Verde at Cooley Station and further support the request to allow residential units on the ground floor. Other ground level structures on the site are parking canopies and garages, staff has encouraged the developer to efficiently maintain parking spaces availability for tenants.

FINDINGS

The Planning Commission is required to make four findings in order to approve a Conditional Use Permit. The findings are listed here, along with the reasons why staff considers that the findings are or are not met in this case. These findings are:

1. The proposed use will not be detrimental to health, safety, or general welfare of persons living or working in the vicinity, to adjacent property, to the neighborhood, or to the public in general.

The applicant notes in the narrative that the ground-floor residential units will not be detrimental and will instead be a benefit to the future residents allowing them to directly access the services within Verde at Cooley Station. All external 1st floor units will be accessible from patios out to the sidewalks around the exterior of the site as well as internal to the building hallway. Units on the ground level that are internal to the site's parking lot will also have direct access from the outside patio. Residents will have a stronger sense of community and will be able to interact directly with the village center activity as opposed to units accessed only internally to multi-family developments. Ground-level units will also allow ADA accessible units to be located on the first floor instead of upper levels.

2. The proposed use conforms to the purposes, intent, and policies of the General Plan and its policies and any applicable area, neighborhood, or other plan adopted by the Town Council.

The proposed ground-floor residential is meeting the intent and policies of the General Plan Gateway Character Area by meeting the policies for residential uses in the village center and by providing a classic mixed-use, pedestrian-oriented village center configuration and pedestrian-oriented plazas. The apartment project will also supply all units with private outdoor space and offer varied and interesting architectural design for building facades and rooflines. The General Plan also has a policy to create safe and attractive open space and a pedestrian/bicycle system, which is being achieved with the pedestrian trail; the ground level units will help activate that system. The relevant General Plan policies are outlined in the attached applicant narrative.

3. *The proposed use conforms to the conditions, requirements, or standards required by the Zoning Code and any other applicable local, State, or Federal requirements.*

As conditioned, the proposed use of ground-floor residential units conforms to zoning code requirements and Ordinance Nos. 2699, and 2735 of the Verde at Cooley Station PAD. The site is accommodating the 17.5' half width of the pedestrian trail along the east property line and 1st floor residential units are proposed with access to the trail from the patios in addition to the lobby entrance doors, providing residential activity along the trail that would otherwise have been commercial uses under the GVC zoning district. Commercial uses are proposed along the trail as part of the Verde at Cooley Station commercial center.

4. *The proposed use, as conditioned, would not unreasonably interfere with the use and enjoyment of nearby properties.*

The request will not interfere with the use and enjoyment of nearby properties and will provide benefits and direct access for residents living on the 1st floor to the pedestrian trail and Verde commercial center. The two residential buildings are placed strategically along the property line to the commercial center and the east property line of the pedestrian trail. The east side of the trail will have another multi-family residential development to the east that will require a CUP as well if ground floor units are proposed. All other properties surrounding the site will not be affected by the ground-level residential units.

Pursuant to the above analysis and attached narrative, Staff is of the opinion that the project meets the four findings required for granting the modified Conditional Use Permit.

PUBLIC NOTIFICATION AND INPUT

A notice of public hearing was published in a newspaper of general circulation in the Town, an official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code Article 5.205.

Staff has not received comment from the public.

PROPOSITION 207

An agreement to "Waive Claims for Diminution in Value" pursuant to A.R.S. § 12-1134 was signed by the landowners of the subject site, in conformance with Section 5.201 of the Town of Gilbert Land Development Code. This waiver is located in the case file.

STAFF RECOMMENDATION

Make the Findings of Fact and approve UP19-35, Quintana at Verde: a Conditional Use Permit for approx. 4.4 acres generally located south of the southeast corner of Verde Drive and Williams Field Road, to allow residential units on the ground floor in the Gateway Village Center (GVC) zoning district with a Planned Area Development (PAD) overlay, subject to conditions.

1. The Project shall be in substantial conformance with the site plan, elevations, renderings, and floor plans shown on the Exhibits provided under Attachment Nos. 5, 6, 7. The approval of UP19-35 is contingent upon the approval of DR19-109.
2. All ground level units shall have direct ingress/egress access from the exterior patio.

3. The developer is encouraged to effectively manage the availability of parking spaces by limiting garages to vehicular parking spaces within tenant lease agreements.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'S. B.', with a stylized flourish extending from the end.

Stephanie Bubenheim
Planner II

Attachments and Enclosures:

- 1) Findings of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Project Narrative
- 5) Site Plan
- 6) Elevations
- 7) Renderings
- 8) Minutes from the Planning Commission Study Session of 9/4/19

FINDINGS OF FACT
UP19-35, Quintana at Verde

- 1. The proposed use will not be detrimental to health, safety, or general welfare of persons living or working in the vicinity, to adjacent property, to the neighborhood, or to the public in general;
- 2. The proposed use conforms with the purposes, intent, and policies of the General Plan and its policies and any applicable area, neighborhood, or other plan adopted by the Town Council;
- 3. The proposed use conforms with the conditions, requirements, or standards required by the Zoning Code and any other applicable local, State, or Federal requirements; and
- 4. The proposed use, as conditioned, would not unreasonably interfere with the use and enjoyment of nearby properties.

PLANNING COMMISSION DATE:

Wednesday, February 5, 2020* TIME: 6:00 PM

*Call Planning Division to verify date and time: (480) 503-6625

LOCATION: Gilbert Municipal Center
Council Chambers
50 E. Civic Center Drive
Gilbert, Arizona 85296

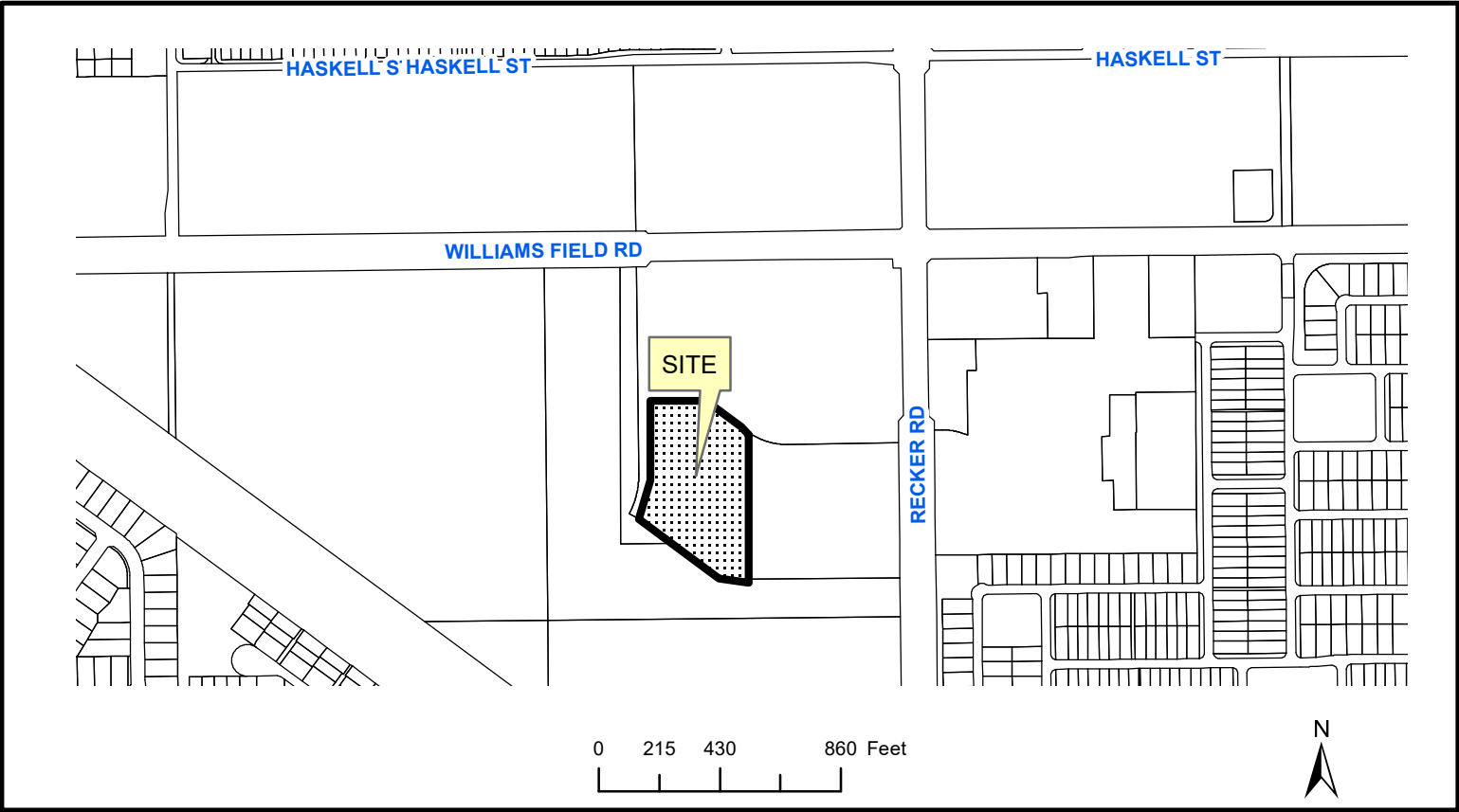
* The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission

REQUESTED ACTION:

UP19-35 QUINTANA AT VERDE: Request to approve a Conditional Use Permit for approx. 4.4 acres located south of the southeast corner of Verde Drive and Williams Field Road to allow residential units on the ground floor in the Gateway Village Center (GVC) zoning district, subject to conditions that address the relation of ground floor residential to the master planned development.

DR19-109 QUINTANA AT VERDE: Site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 4.44 acres, generally located south of the southeast corner of Verde Drive and Williams Field Road, and zoned Gateway Village Center (GVC) with a Planned Area Development (PAD) overlay.

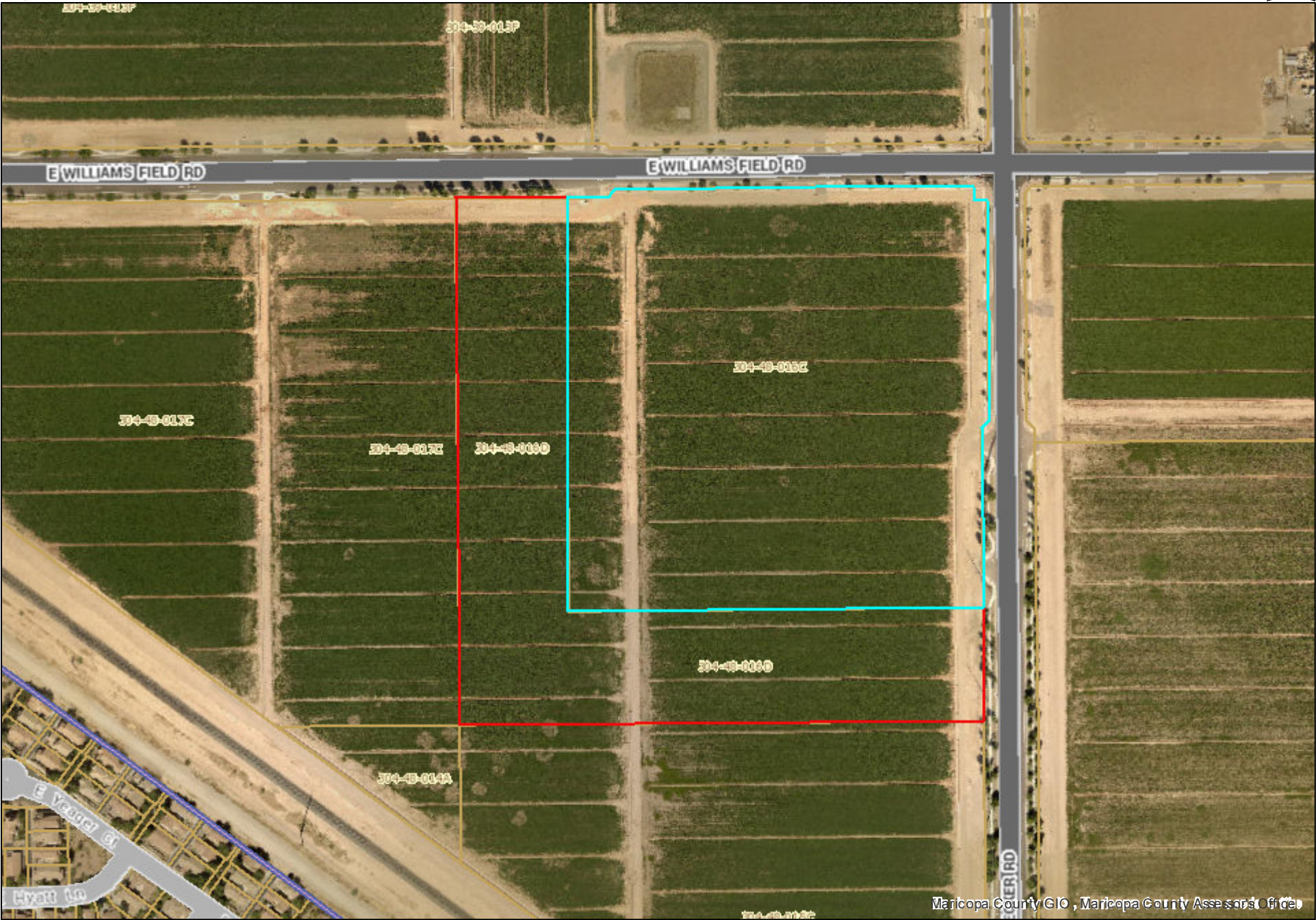
SITE LOCATION:



APPLICANT: EPS Group Inc.
CONTACT: Natalie Griffin
ADDRESS: 1130 N. Alma School Rd, Ste 120
Mesa, AZ 85201

TELEPHONE: (480) 503-2250
E-MAIL:natalie.griffin@epsgroupinc.com

Parcel/Aerial Map





Quintana at Verde

Multi-Family Apartments within Verde at Cooley Station
Conditional Use Permit
Project Narrative

Submitted: May 17, 2019
Revised: January 27, 2020

Developer

Shaw Ltd.
162 Steward St., Unit B
Durango, CO 81303
Tel: 602.469.4728
Contact: Dennis Shaw

Engineer/Planner/Landscape Architect

EPS Group, Inc.
1130 N Alma School Rd., Suite 120
Mesa, AZ 85201
Tel: 480.503.2250
Contact: Brian Nicholls / Natalie Griffin

Property Owner

SB2-VB, LLC
7702 E Doubletree Ranch Rd., Suite 300
Scottsdale, AZ 85258
Tel: 480.902.3077
Contact: Norman Brody

Architect

Reynolds, Ash + Associates
1140 Main Ave., Suite B
Durango, CO 81301
Tel: 970.259.7494
Contact: Elizabeth Boone

Project Request

This request seeks Conditional Use Permit approval for ground-floor residential uses within ±4.36-acres of the creative mixed-use development of Verde at Cooley Station Plan, as described in Attachment A and B. The site is located at the southwest corner of Recker and Williams Field Roads in the Town of Gilbert and is Maricopa County Tax Assessor Parcel Number (APN): 304-49-990. The site is designated as Village Center in the General Plan and was zoned Gateway Village Center PAD (GVC-PAD), per Ordinance No. 2699. Design Review is subject to the design guidelines of the Gateway Character Area, Cooley Station Design Guidelines, and the Verde at Cooley Station Design Guidelines.

Project Description

Quintana at Verde, as a part of Verde at Cooley Station, seeks to further the Village Center Land Use polices with a development that includes a mix of residential, retail shops, restaurants, offices and entertainment with a strong emphasis on pedestrian interaction, all surrounding a central green and long, landscaped pedestrian corridor. For tenants in the Verde apartment community, it will be a short walk to restaurants, the dry cleaner, barber, salon and other services and retail uses. The vision is to provide the community with a place where Gilbert residents can work, play and live, a place to gather, meet, relax, eat and refresh.

Efforts to Mitigate Potential Impacts to Adjacent Properties

The Conditional Use Permit would allow for residential uses on the ground-floor of mixed-use buildings within the Verde at Cooley Station development, which lies in the heart of the Cooley Station Master Plan.

By allowing ground-floor residential use, future residents will have a stronger sense of community and will be able to interact directly with the village center activity. The residents will have ease of access to the office, commercial, restaurant and entertainment uses provided within the site with planned pedestrian connections, including a 35-foot-wide pedestrian corridor, which will extend from Williams Field Road, through Verde at Cooley Station, and southward towards the future Town of Gilbert transit site.

First-floor patios will have enhanced detail and architectural features, with a V Groove stucco material introduced to differentiate the ground floor from the upper floors. Aluminum sun-shades were added above the first-floor windows of the wood elevations to provide additional depth and detail. A precast cap provides a transition between the first-floor brick cladding and the stucco above with a change of brick coursing below. This detail is also expressed at the first-floor brick window sills.

Compliance with the General Plan, Zoning Requirements, and Other Adopted Plans

This site, as part of the Gateway District, aligns with the General Plan's vision to provide a traditional village/neighborhood experience that promotes "pedestrian, bicycle, transit-oriented design and integrates commercial, employment and residential (phase II) land uses." There are a few deviations from the current policies in both the General Plan and Zoning Ordinance that were previously requested as part of the zoning and GPA process, which are outlined below:

Gateway District Policy	Multi-Family
Design varied and interesting building facades, with ground floor retail and entertainment uses and upper floor office and residential units.	First floor residential requested through Conditional Use Permit.

Standards	GVC	GBC	Additional Regulations	Multi-Family
Storefronts and Access	Yes	No	(D)	Decreased percentage (40%) or residential unit window, window displays, door coverage.
Building Transparency	Yes	No	(E)	Ground-floor view windows, window displays, or doors may be provided between 0 and 8 feet above grade adjacent to the principle building frontage along Recker Road.
Driveway Restrictions	Yes	Yes	(F)	Arterial access permitted through Z18-20.
Parking Setback	Yes	No	(G)	Parking is permitted within the build-to lines along Recker Road and Collector Road (A-A).

Conformance with Land Development Code Requirements or Standards and Other Local, State or Federal Requirements

The Verde at Cooley Station development will comply with the following Design Guidelines:

- Verde at Cooley Station Design Guidelines, February 12, 2019
- Cooley Station Design Guidelines, August 31, 2008
- Gateway Streetscape Guidelines, Ordinance 1499
- Gateway Character Area, Gilbert General Plan
- Gilbert Commercial Design Guidelines, Gilbert Development Code

Compliance with the Four Findings of Fact

1. The proposed use will not be detrimental to health, safety, or general welfare of persons living or working in the vicinity, to adjacent property, to the neighborhood, or to the public in general.

The proposed ground-floor residential use will not be detrimental to health, safety, or general welfare of persons living or working in the vicinity, to adjacent properties, to the neighborhood, or to the public in general. The ground-level units will open the opportunity to provide 1st floor access for ADA accessible units, which would otherwise be only allowed on upper floors. Furthermore, the provided ground-level patios and sidewalks will allow residents to directly access and connect to the services, shops, restaurants, and amenities within the mixed-use development of Verde at Cooley Station.

2. The proposed use conforms with the purposes, intent, and policies of the General Plan and its policies and any applicable area, neighborhood, or other plan adopted by the Town Council.

This site is envisioned to be a part of the residential component of the pedestrian-oriented, mixed-use Village Center of Verde at Cooley Station. Since the conception of Cooley Station many mixed-use components have changed due the market, particularly the restrictions of retail uses for ground-floor locations, which have failed in other developments throughout the nation. The proposed ground-floor residential use within Quintana at Verde, however, still conforms with the purposes, intent, and policies of the General Plan policies adopted by the Town Council in 2012.

Village Center Residential Design Policies:

- **Policy #1:** Develop a high-quality residential environment within the Village Center to include lofts, townhouses, condominiums and apartments.

Response: Quintana at Verde is proposed to be a 195-unit apartment complex within the Village Center of Verde at Cooley Station.

- **Policy #2:** Provide on-site amenities for residents, including swimming pools, recreational facilities, clubhouses and other services. Provide covered, private outdoor space for all units, where applicable.

Response: On-site amenities proposed include a swimming pool, gym, clubhouse and co-working space, valet trash service, rooftop deck, fireplace and kitchen.

- Policy #3: Encourage patios and balconies as part of the design of the residential units.

Response: Each unit has been designed with its own balcony; however, ground-floor patios that lead out to the sidewalks and pedestrian trails are being requested with this application.

- Policy #4: Promote varied and interesting architectural design for building facades and rooflines.

Response: The building facades and rooflines have been designed with six different materials and colors, as well as three different types of rooflines and articulations.

- Policy #5: Encourage a minimum of ten (10%) percent of the residential sites for on-site open space and landscaping.

Response: This site will have a 17.5' pedestrian corridor that runs along the entirety of its eastern boundary, which, along with the internal landscaping, pool amenity, and Paseo Entry Plaza, will be more than 10% of the site.

- Policy #6: Encourage service areas and secured-shared parking, in the form of surface, under building and/or structure parking.

Response: Service areas have been studied and located in areas closest to which they serve. Secured, garage parking is proposed within the site's internal parking lot.

- Policy #7: Create a safe and attractive open space and pedestrian/bicycle system to connect the mixed uses in the Village Center to parks, schools, commercial and employment services and neighborhoods.

Response: Pedestrian connections are highly encouraged in the site's design. The 17.5' future paseo will not only connect to the mixed-use center of Verde at Cooley Station, but will also connect to adjacent businesses, residential uses, and future transit station. Additionally, multiple seating areas, artwork, and architectural elements have been planned and placed throughout the site.

- Policy #8: Provide densities ranging from twenty-two (22) to fifty (50) dwelling units per acre within the Village Center.

Response: The proposed site, with 195 units, is 44.6 dwelling units per acre.

3. The proposed use conforms with the conditions, requirements, or standards required by the Zoning Code or any other applicable Local, State, or Federal requirements.

The proposed Conditional Use Permit conforms with the conditions, requirements, or standards required by the Zoning Code, any other applicable Local, State, or Federal Requirements, and as required per Ordinance No. 2699. Per this ordinance, a pedestrian trail is required to extend along the entirety of the site's eastern boundary. The approval of ground-floor residential uses will allow the developer to take a unique advantage of placing units along the open space with patios and sidewalks that link the residents directly to the corridor. This corridor will not only link the two planned multi-

family sites, but will connect locals to the mixed-use center of Verde at Cooley Station and south to the future transit site.

4. The proposed use, as conditioned, would not unreasonable interfere with the use and enjoyment of nearby properties.

This site, as part of the Verde at Cooley Station PAD, has been pre-determined to be one of the multi-family components of the mixed-use site. A second multi-family site is slated to be built east of the site, which will provide the second half of the 35' wide pedestrian corridor. This corridor acts to connect the two multi-family sites to each other, the commercial component of Verde at Cooley Station, and southbound to the future transit site and businesses.

The proposed ground-floor uses within Quintana at Verde will not interfere with the use and enjoyment of other nearby properties. In fact, the ground-floor residential units, with patios and sidewalks leading out to the corridor, will allow residents to more easily access nearby business, open spaces, and connections.

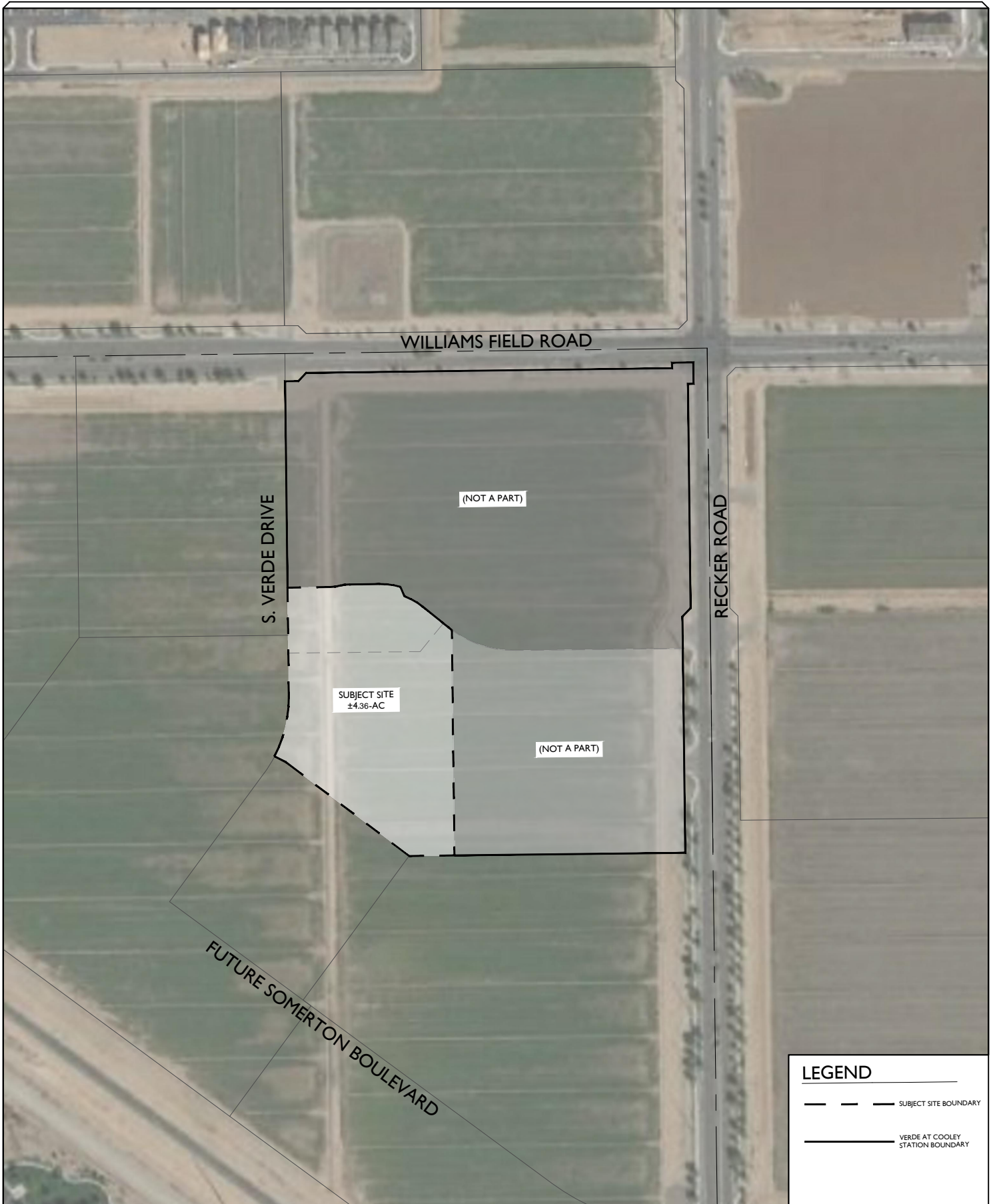
Conclusion

This Conditional Use Permit request is in accordance to Gilbert Development and Design Guideline standards, Cooley Station Design Guidelines, Gateway Streetscape Standards and Gateway Character Area. We respectfully request your favorable consideration of the submitted documents. We look forward to working with the Town to implement this exciting development.

Attachments:

- A. Context Map
- B. Legal Description

Attachment A Context Map



18-147

VERDE AT COOLEY STATION

CONDITIONAL USE PERMIT
GILBERT, AZ

CONTEXT MAP



1130 N. Alma School Rd
Suite 120 Mesa, AZ 85201
T: 480.503.2250 | F: 480.503.2258
www.epsgroupinc.com

Attachment B Legal Description



**Legal Description
Verde at Cooley Station
Lot 4**

Job No. 18-147

1/28/20

Lot 4 of that Final Plat of 'Verde at Cooley Station', recorded in Book 1501, Page 10, Records of Maricopa County, Arizona.

Also described via metes and bounds as follows:

A portion of the Northeast Quarter of Section 35, Township 1 South, Range 6 East, of the Gila and Salt River Meridian, Maricopa County, Arizona, more particularly described as follows:

COMMENCING at a brass cap in handhole at the Northeast Corner of said Section 35, from which a brass cap in handhole at the East Quarter Corner of said Section 35 bears South 0 degrees 40 minutes 0 seconds East, 2635.46 feet;

thence along the East line of said Northeast Quarter, South 0 degrees 40 minutes 00 seconds East, 1181.87 feet;

thence South 89 degrees 19 minutes 59 seconds West, 606.09 feet to the **POINT OF BEGINNING**;

thence South 89 degrees 19 minutes 59 seconds West, 106.22 feet;

thence North 52 degrees 43 minutes 07 seconds West, 349.96 feet to the beginning of a non-tangent curve, concave Northwest, from which the radius point bears North 62 degrees 16 minutes 01 seconds West a distance of 343.00 feet;

thence Northeasterly 170.01 feet along the arc of said curve to the left through a central angle of 28 degrees 23 minutes 59 seconds;

thence North 0 degrees 40 minutes 00 seconds West, 254.05 feet;

thence North 89 degrees 16 minutes 27 seconds East, 55.70 feet to the beginning of a curve, concave Northwest, having a radius of 110.50 feet;

thence Northeasterly 25.97 feet along the arc of said curve to the left through a central angle of 13 degrees 28 minutes 05 seconds to a point of reverse curvature of a curve having a radius of 89.50 feet;



thence Northeasterly 21.04 feet along the arc of said curve to the right through a central angle of 13 degrees 28 minutes 05 seconds;

thence on a non-tangent line North 0 degrees 43 minutes 33 seconds West, 10.50 feet;

thence North 89 degrees 16 minutes 27 seconds East, 69.75 feet to the beginning of a curve, concave Southwest, having a radius of 187.50 feet;

thence Southeasterly 45.16 feet along the arc of said curve to the right through a central angle of 13 degrees 48 minutes 00 seconds;

thence on a non-tangent line South 22 degrees 41 minutes 16 seconds East, 36.81 feet to the beginning of a non-tangent curve, concave Southwest, from which the radius point bears South 20 degrees 45 minutes 57 seconds West a distance of 159.00 feet;

thence Southeasterly 50.33 feet along the arc of said curve to the right through a central angle of 18 degrees 08 minutes 09 seconds;

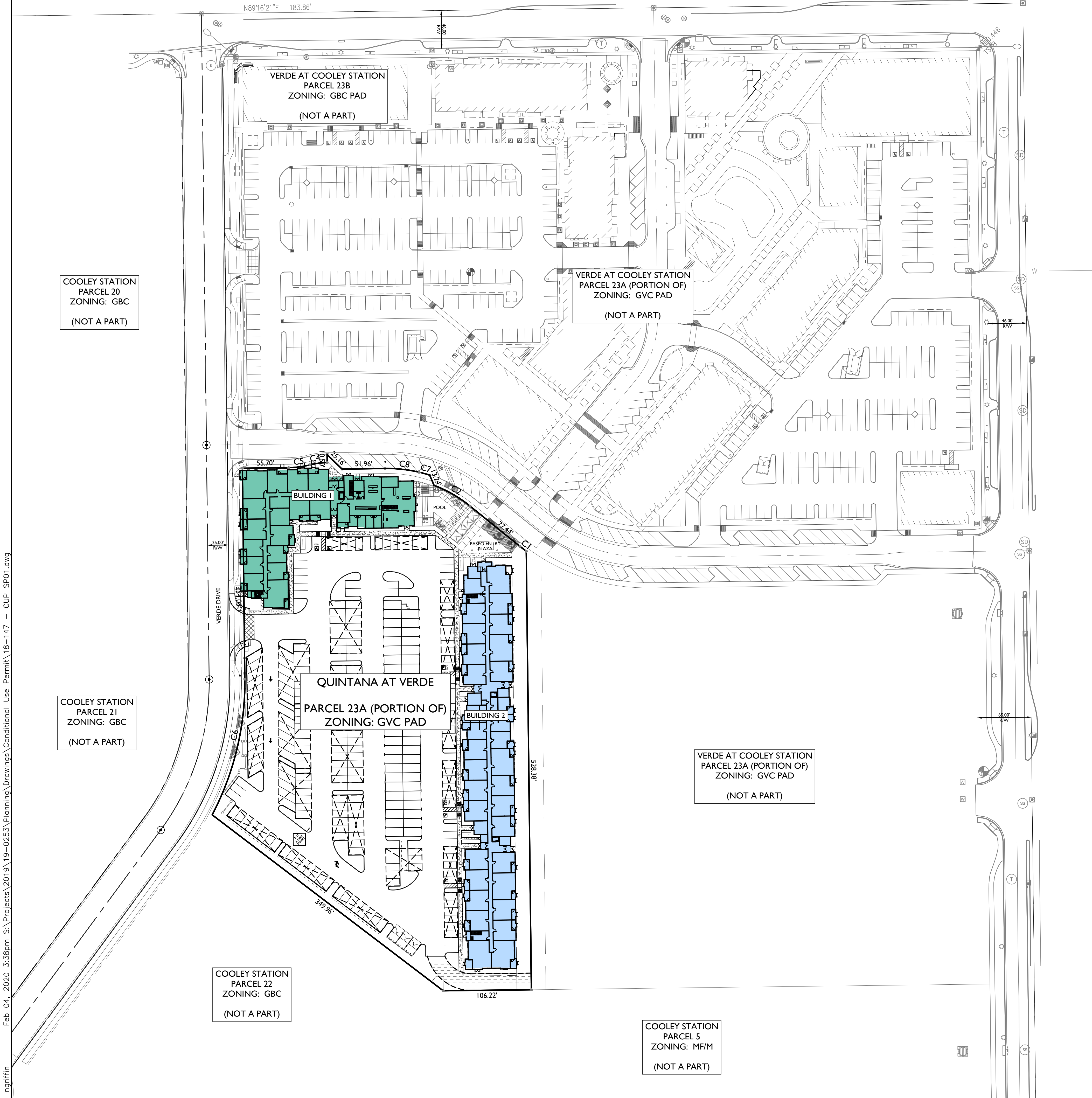
thence South 51 degrees 05 minutes 55 seconds East, 77.26 feet to the beginning of a curve, concave Northeast, having a radius of 243.03 feet;

thence Southeasterly 9.72 feet along the arc of said curve to the left through a central angle of 2 degrees 17 minutes 33 seconds;

thence on a non-tangent line South 0 degrees 40 minutes 01 seconds East, 528.38 feet to the **POINT OF BEGINNING**.

Contains 192,150 square feet or 4.4111 acres, more or less.

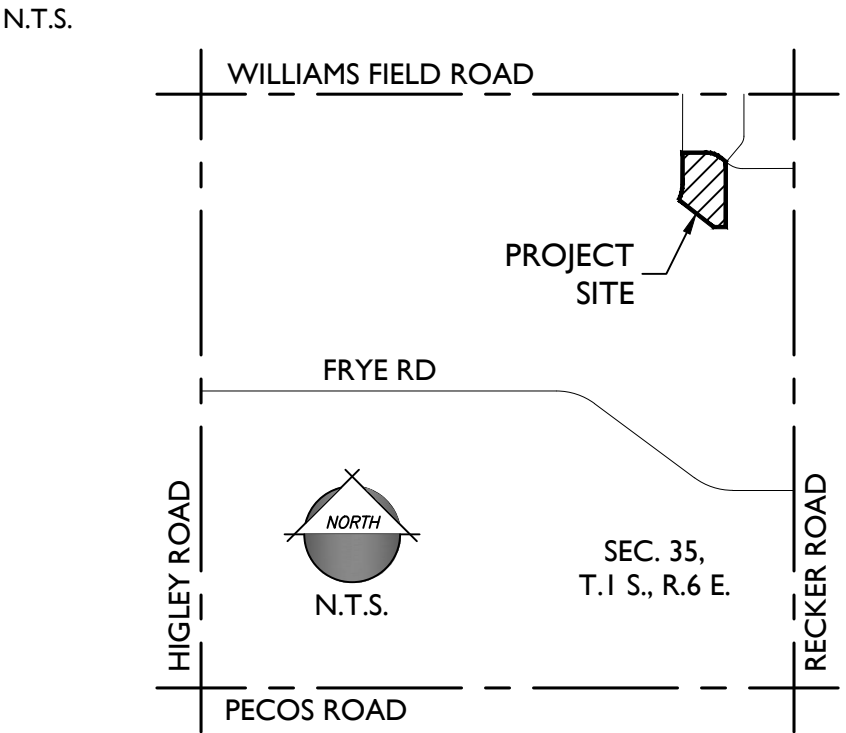




CONDITIONAL USE PERMIT SITE PLAN FOR QUINTANA AT VERDE

A PORTION OF THE NORTHEAST QUARTER OF SECTION 35, T.1 S., R.6 E., GILA AND SALT RIVER
MERIDIAN, MARICOPA COUNTY, ARIZONA

VICINITY MAP

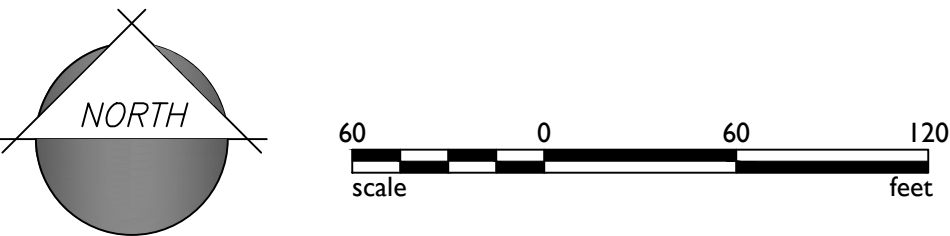


PROJECT TEAM

DEVELOPER SHAW LTD 162 STEWART STREET, UNIT B DURANGO, CO 81303 TEL: (602)-469-4728 CONTACT: DENNIS SHAW	PROPERTY OWNER: SB2-GILBERT, LLC 7702 E. DOUBLE TREE RANCH RD STE 300 SCOTTSDALE, AZ 85258 TEL: (480)-902-3077 CONTACT: NORM BRODY
ARCHITECT: REYNOLDS, ASH + ASSOCIATES 1140 MAIN AVENUE, STE B DURANGO, CO 81301 TEL: (970)-259-7494 CONTACT: ELIZABETH BOONE	ENGINEERING CONSULTANT: EPS GROUP, INC. 1130 N. ALMA SCHOOL RD, STE 120 MESA, AZ 85201 TEL: (480)-503-2250 FAX: (480)-503-2258 CONTACT: BRIAN NICHOLLS, PE

PARKING SUMMARY

REQUIRED & PROVIDED ADA SPACES: FOR PARKING LOTS WITH 201-300 SPACES: 7 SPACES	
REQUIRED PARKING:	
1 PER STUDIO/ONE BDRM	159 SPACES (159 UNITS)
2 PER TWO/+ BDRMS	72 SPACES (36 UNITS)
0.25 GUEST PER UNIT	49 SPACES (195 UNITS)
TOTAL REQUIRED SPACES:	280 SPACES
PROVIDED PARKING:	
UNCOVERED SPACES	49
COVERED SPACES	232 (183 CANOPY / 49 GARAGE)
TOTAL PROVIDED SPACES:	281 TOTAL SPACES



1130 N Alma School Road
Suite 120
Mesa, AZ 85201
T: 480.503.2250 | F: 480.503.2258
www.epsgroupinc.com

EPS
GROUP

Project:
QUINTANA AT VERDE
Gilbert, Arizona

CONDITIONAL USE PERMIT - SITE PLAN

Revisions:
APRIL 29, 2019 - PRE-APPLICATION SUBMITTAL
JULY 10, 2019 - CUP 1ST SUBMITTAL
NOVEMBER 25, 2019 - CUP 2ND SUBMITTAL
FEBRUARY 4, 2020 - CUP 3RD SUBMITTAL

Call at least two full working days
before you begin excavation.

ARIZONA
80

State of Arizona
Maricopa County (802063-1100)

Designer:
Drawn by:

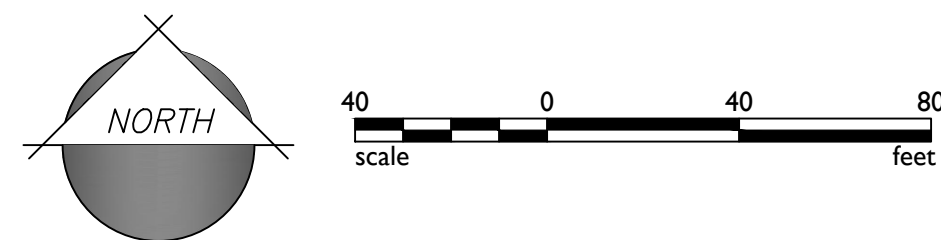
STAFF
STAFF

Preliminary
Not For
Construction
Or
Recording

Job No.
19-0253
SP01
Sheet No.
1
of **2**

EPS-02

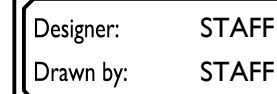
Feb 04, 2020 3:38pm S:\Projects\2019-0253\Planning\Drawings\Drawings\18-147 - CUP SP02.dwg



A.P.N.:	304-49-990
EXISTING ZONING:	GATEWAY VILLAGE CENTER PAD (GVC PAD)
EXISTING GENERAL PLAN:	VILLAGE CENTER
GROSS AREA:	+/- 5.08 ACRES
NET AREA:	+/- 4.36 ACRES
NO. OF UNITS	
STUDIOS	40
ONE BEDROOM	119
TWO BEDROOM	36
<u>TOTAL</u>	<u>195</u>
DENSITY:	38.3 DU/AC
GROSS BUILDING AREA:	+/- 43,029 S.F. (22%)
LANDSCAPED AREA:	+/- 23,012 S.F. (12.0%)

DENSITY: 38.3 DU/AC

GROSS BUILDING AREA: +/- 43,029 S.F. (22%)
LANDSCAPED AREA: +/- 23,012 S.F. (12.0%)

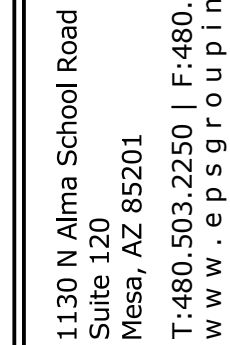
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SP02

Sheet No.
2
of 2

Gilbert, Arizona

CUP SITE PLAN - ENLARGEMENT



EPS-02

**UP19-35 Quintana at Verde
Attachment 6 - Elevations
March 4, 2020**



TOTAL FRONTAGE = 1,595 SF
TRANSPARENCY = 676 SF
TRANSPARENCY RATIO = 42%

WEST ELEVATION -
TRANSPARENCY CALC

SCALE: 1/8" = 1'-0"

A
G-105



NORTH ELEVATION

SCALE: 1/8" = 1'-0"
ELEVATION KEYNOTES

- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
- 2 STUCCO - V6ROOVE TEXTURE - COLOR IRON ORE
- 3 STUCCO - 1" EIFS SYSTEM - COLOR BLACK MAGIC
- 4 STUCCO - TRIM - COLOR CITYSCAPE
- 5 LP SMART SIDE - COLOR CITYSCAPE
- 6 LP SMART SIDE TRIM - COLOR CITYSCAPE
- 7 THIN BRICK VENEER - COLOR FUEGO RED
- 8 PRECAST CONCRETE CAP / SILL - 1 VERTICAL BRICK COURSE BELOW
- 9 TRESPA COMPOSITE WOOD VERTICAL - COLOR MILLANO SABBIA
- 10 ALUMINUM RAILING 42" - COLOR BLACK
- 11 CS 100-35 6" AIRFOIL BLADE SUSPENDED ALUMINUM SUN SHADE - COLOR BLACK
- 12 METAL PARAPET CAP - COLOR BLACK
- 13 BREAK METAL CANOPY / BALCONY - COLOR BLACK
- 14 ALUMINUM METAL PANEL - COLOR BLACK
- 15 METAL FASCIA - COLOR BLACK
- 16 WOOD COLOR: NATURAL PINE
- 17 ROOF - COLOR WATHERED COPPER
- 18 WALL SCOFF B.O. FIXTURE 3" ABOVE TRIM OR OPENING - COLOR BLACK
- 19 METAL PARAPET CAP - COLOR CITYSCAPE
- 20 METAL PARAPET CAP - COLOR DESERT WOOD
- 21 METAL PARAPET CAP - COLOR PURE WHITE

ELEVATION GENERAL NOTES

- EXTERIOR SWING DOOR COLORS ALTERNATE
- WINDOWS FRAMES TO BE BLACK



EAST ELEVATION

SCALE: 1/8" = 1'-0"



REYNOLDS ASH
+ ASSOCIATES

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ADDRESS TBD
GILBERT, ARIZONA 85295

JOB. NO.: 18256
DATE: 2020-02-10
DRAWN BY: RA+A

ISSUE RECORD:

REVISIONS:

A-202

EXTERIOR
ELEVATIONS
COLOR



WEST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



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SHAW LTD
EAST APARTMENT BUILDING
ADDRESS TBD
GILBERT, ARIZONA 85295

REVISIONS:

OVERALL
COLORED
ELEVATIONS



- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
- 2 STUCCO - V-GROOVE TEXTURE - COLOR IRON ORE
- 3 STUCCO - 1" EIFS SYSTEM - COLOR BLACK MAGIC
- 4 STUCCO - TRIM - COLOR CITYSCAPE
- 5 LP SMART SIDE - COLOR CITYSCAPE
- 6 LP SMART SIDE TRIM - COLOR CITYSCAPE
- 7 THIN BRICK VENEER - COLOR FUSCO RED
- 8 PREGAST CONCRETE GAP / SILL - 1 VERTICAL BRICK COURSE BELOW
- 9 TRESPA COMPOSITE WOOD VERTICAL - COLOR MILLAANO SABBIA
- 10 ALUMINUM RAILING 42" - COLOR BLACK
- 11 CS 100-35 6" AIRFOIL SUSPENDED ALUMINUM SUN SHADE - COLOR BLACK
- 12 SIGNAGE PROPOSAL TO BE SUBMITTED
- 13 BREAK METAL CANOPY / BALCONY- COLOR BLACK
- 14 ALUMINUM METAL PANEL - COLOR BLACK
- 15 METAL FASCIA - COLOR WEATHERED COPPER
- 16 WOOD COLOR - NATURAL PINE
- 17 STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
- 18 WALL SCOTCH B.O. FIXTURE 3" ABOVE TRIM OR OPENING- STANDING SEAM METAL ROOF -
COLOR WEATHERED COPPER
- 19 METAL PARAPET CAP - COLOR CITY SCAPE
- 20 METAL PARAPET CAP - COLOR DESERT WOOD
- 21 METAL PARAPET CAP - COLOR PURE WHITE



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JOB. NO.: 1825
DATE: 2020-02-20
DRAWN BY: RA+A

ISSUE RECORD:

REVISIONS:

A-204

EXTERIOR ELEVATIONS



ELEVATION KEYNOTES

- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
- 2 STUCCO - V-GROOVE TEXTURE - COLOR IRON ORE
- 3 STUCCO - 1" EIFS SYSTEM - COLOR BLACK MAGIC
- 4 STUCCO - TRIM - COLOR CITYSCAPE
- 5 LP SMART SIDE - COLOR CITYSCAPE
- 6 LP SMART SIDE TRIM - COLOR CITYSCAPE
- 7 THIN BRICK VENEER - COLOR FUEGO RED
- 8 PRECAST CONCRETE CAP / SILL - 1 VERTICAL BRICK COURSE BELOW
- 9 TRESFA COMPOSITE WOOD VERTICAL - COLOR MILLAANO SABBIA
- 10 ALUMINUM RAILING 42" - COLOR BLACK
- 11 CS 100-35 6" AIRFOIL SUSPENDED ALUMINUM SUN SHADE - COLOR BLACK
- 12 SIGNAGE PROPOSAL TO BE SUBMITTED
- 13 BREAK METAL CANOPY / BALCONY - COLOR BLACK
- 14 ALUMINUM METAL PANEL - COLOR BLACK
- 15 METAL FASCIA - COLOR WEATHERED COPPER
- 16 WOOD COLOR - NATURAL PINE
- 17 STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
- 18 WALL SCONCE B.O. FIXTURE 3" ABOVE TRIM OR OPENING- STANDING SEAM METAL ROOF -
COLOR WEATHERED COPPER
- 19 METAL PARAPET CAP - COLOR CITY SCAPE
- 20 METAL PARAPET CAP - COLOR DESERT WOOD
- 21 METAL PARAPET CAP - COLOR PURE WHITE



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

A
A-205



SOUTH ELEVATION COLOR

SCALE: 1/8" = 1'-0"

B
A-205

ELEVATION KEYNOTES

- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
- 2 STUCCO - V-GROOVE TEXTURE - COLOR IRON ORE
- 3 STUCCO - 1" EIFS SYSTEM - COLOR BLACK MAGIC
- 4 STUCCO - TRIM - COLOR CITYSCAPE
- 5 LP SMART SIDE - COLOR CITYSCAPE
- 6 LP SMART SIDE TRIM - COLOR CITYSCAPE
- 7 THIN BRICK VENEER - COLOR FUEGO RED
- 8 PRECAST CONCRETE CAP / SILL - 1 VERTICAL BRICK COURSE BELOW
- 9 TRESPA COMPOSITE WOOD VERTICAL - COLOR MILLAANO SABBIA
- 10 ALUMINUM RAILING 42" - COLOR BLACK
- 11 GS 100-35 6" AIRFOIL SUSPENDED ALUMINUM SUN SHADE - COLOR BLACK
- 12 SIGNAGE PROPOSAL TO BE SUBMITTED
- 13 BREAK METAL CANOPY / BALCONY - COLOR BLACK
- 14 ALUMINUM METAL PANEL - COLOR BLACK
- 15 METAL FASCIA - COLOR WEATHERED COPPER
- 16 WOOD COLOR - NATURAL FINE
- 17 STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
- 18 WALL SCONCE B.O. FIXTURE 3" ABOVE TRIM OR OPENING- STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
- 19 METAL PARAPET CAP - COLOR CITY SCAPE
- 20 METAL PARAPET CAP - COLOR DESERT WOOD
- 21 METAL PARAPET CAP - COLOR PURE WHITE



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QUINTANA AT COOLEY STATION

SHAW LTD

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ADDRESS TBD

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JOB. NO.: 18256

DATE: 2020-02-24

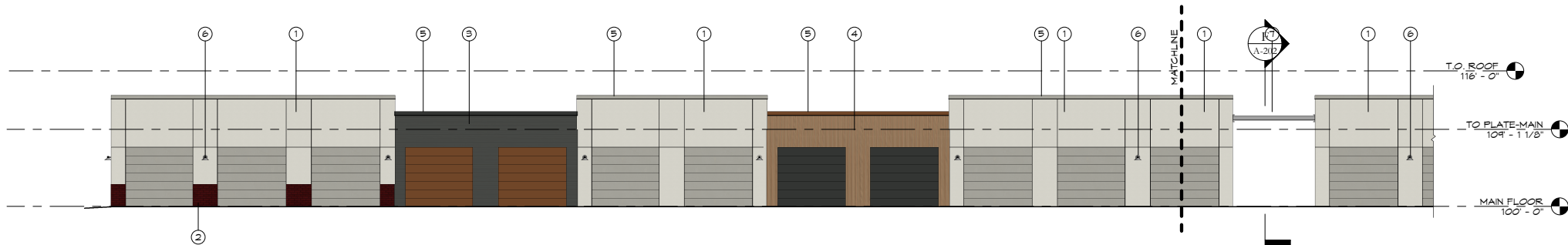
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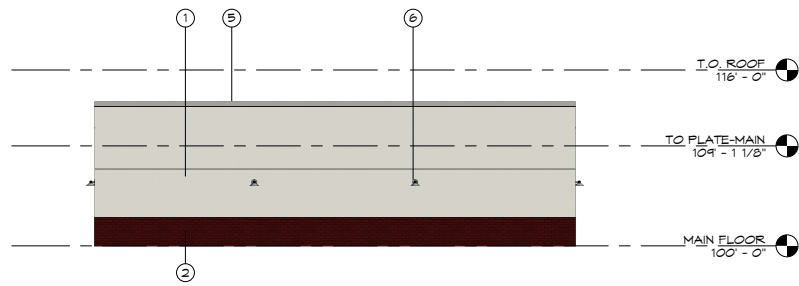
REVISIONS:

A-205

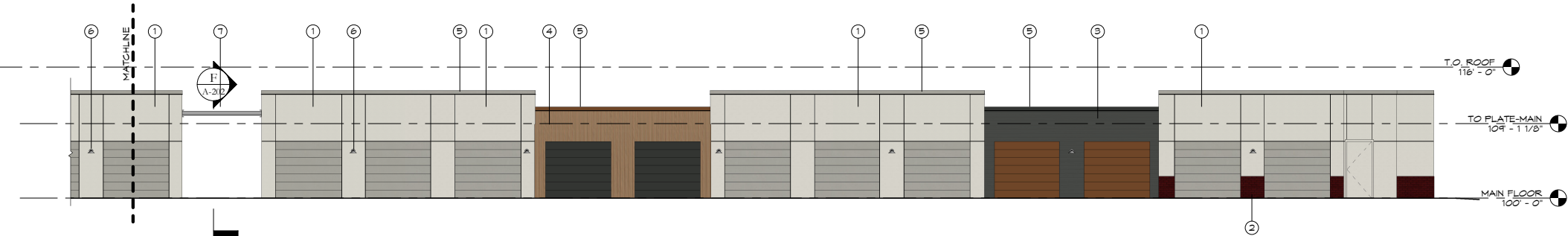
EXTERIOR
ELEVATIONS
COLOR



WEST ELEVATION- NORTH
SCALE: 1/8" = 1'-0"
A-201



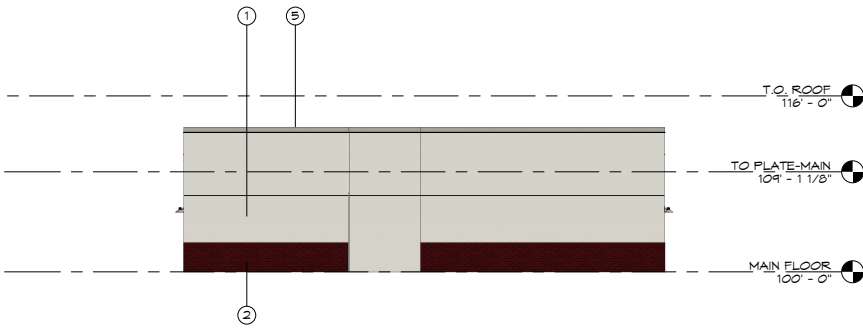
NORTH ELEVATION
SCALE: 1/8" = 1'-0"
B-201



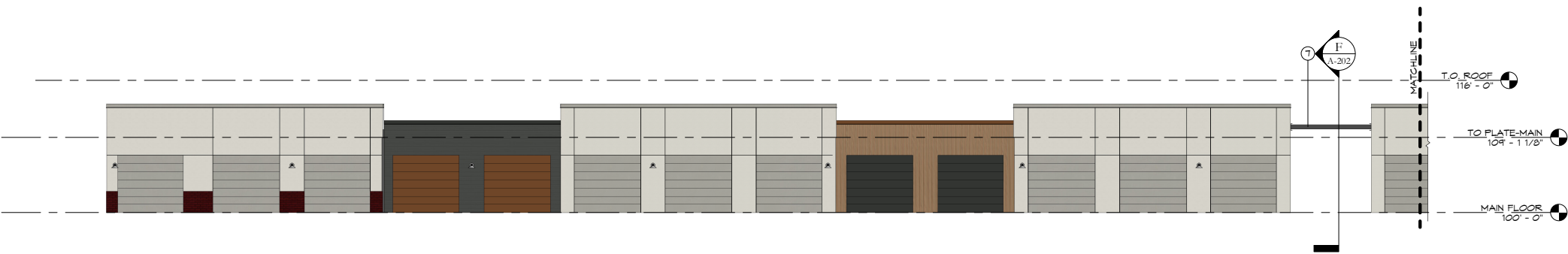
WEST ELEVATION- SOUTH
SCALE: 1/8" = 1'-0"
C-201



EAST ELEVATION- NORTH
SCALE: 1/8" = 1'-0"
D-201



TYP. SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
E-201



EAST ELEVATION- SOUTH
SCALE: 1/8" = 1'-0"
F-201

- ELEVATION KEYNOTES
- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
 - 2 THIN BRICK VENEER - COLOR FUEGO RED
 - 3 LP SMART SIDE - COLOR CITYSCAPE
 - 4 TRESPA COMPOSITE WOOD VERTICAL - COLOR MILLANO SABBIA
 - 5 METAL PARAPET CAP - COLOR TO MATCH SIDING BELOW
 - 6 DARK SKY COMPLIANT WALL SCONCES - COLOR WEATHERED BRONZE
 - 7 ALUMINUM SHADE STRUCTURE



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+ ASSOCIATES**
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JOB. NO.: 18256
DATE: 2020-02-24
DRAWN BY: RA+AE

ISSUE RECORD:

REVISIONS:

A-201
EXTERIOR
ELEVATIONS



NORTH ELEVATION **A**
SCALE: 1/8" = 1'-0"
A-203



EAST ELEVATION **B**
SCALE: 1/8" = 1'-0"
A-203

ELEVATION KEYNOTES

- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
- 2 STUCCO - V-GROOVE TEXTURE - COLOR IRON ORE
- 3 STUCCO - 1" EIFS SYSTEM - COLOR BLACK MAGIC
- 4 STUCCO - TRIM - COLOR CITYSCAPE
- 5 LP SMART SIDE - COLOR CITYSCAPE
- 6 LP SMART SIDE TRIM - COLOR CITYSCAPE
- 7 THIN BRICK VENEER - COLOR FUEGO RED
- 8 PRECAST CONCRETE CAP / SILL - 1 VERTICAL BRICK COURSE BELOW
- 9 TRESPA COMPOSITE WOOD VERTICAL - COLOR MILLANO SABBIA
- 10 ALUMINUM RAILING 42" - COLOR BLACK
- 11 GS 100-35 6" AIRFOIL BLADE SUSPENDED ALUMINUM SUN SHADE - COLOR BLACK
- 12 METAL PARAPET CAP - COLOR BLACK
- 13 BREAK METAL CANOPY / BALCONY - COLOR BLACK
- 14 ALUMINUM METAL PANEL - COLOR BLACK
- 15 METAL FASCIA - COLOR BLACK
- 16 WOOD COLOR: NATURAL PINE
- 17 ROOF - COLOR WATHERED COPPER
- 18 WALL SCONCE B.O. FIXTURE 3" ABOVE TRIM OR OPENING - COLOR BLACK
- 19 METAL PARAPET CAP - COLOR CITYSCAPE
- 20 METAL PARAPET CAP - COLOR DESERT WOOD
- 21 METAL PARAPET CAP - COLOR PURE WHITE

ELEVATION GENERAL NOTES

- EXTERIOR SWING DOOR COLORS ALTERNATE
- WINDOWS FRAMES TO BE BLACK

QUINTANA AT COOLEY STATION
SHAW LTD
NORTH APARTMENT BUILDING
ADDRESS TBD
GILBERT, ARIZONA 85295

JOB. NO.: 18256

DATE: 2020-02-10

DRAWN BY: Author

ISSUE RECORD:

REVISIONS:

A-203

EXTERIOR
ELEVATIONS



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ADDRESS TBD
GILBERT, ARIZONA 85295

JOB. NO.: 18256
DATE: 2020-02-10
DRAWN BY: Author

ISSUE RECORD:

REVISIONS:

A-204

EXTERIOR
ELEVATIONS

ELEVATION KEYNOTES

- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
- 2 STUCCO - V-GROOVE TEXTURE - COLOR IRON ORE
- 3 STUCCO - 1" EIFS SYSTEM - COLOR BLACK MAGIC
- 4 STUCCO - TRIM - COLOR CITYSCAPE
- 5 LP SMART SIDE - COLOR CITYSCAPE
- 6 LP SMART SIDE TRIM - COLOR CITYSCAPE
- 7 THIN BRICK VENEER - COLOR FUEGO RED
- 8 PRECAST CONCRETE CAP / SILL - 1 VERTICAL BRICK COURSE BELOW
- 9 TRESPA COMPOSITE WOOD VERTICAL - COLOR MILLANO SABBIA
- 10 ALUMINUM RAILING 42" - COLOR BLACK
- 11 CS 100-35 6" AIRFOIL BLADE SUSPENDED ALUMINUM SUN SHADE - COLOR BLACK
- 12 METAL PARAPET CAP - COLOR BLACK
- 13 BREAK METAL CANOPY / BALCONY - COLOR BLACK
- 14 ALUMINUM METAL PANEL - COLOR BLACK
- 15 METAL FASCIA - COLOR BLACK
- 16 WOOD COLOR: NATURAL PINE
- 17 ROOF - COLOR WATHERED COPPER
- 18 WALL SCONCE B.O. FIXTURE 3" ABOVE TRIM OR OPENING - COLOR BLACK
- 19 METAL PARAPET CAP - COLOR CITYSCAPE
- 20 METAL PARAPET CAP - COLOR DESERT WOOD
- 21 METAL PARAPET CAP - COLOR PURE WHITE

ELEVATION GENERAL NOTES

- EXTERIOR SWING DOOR COLORS ALTERNATE
- WINDOWS FRAMES TO BE BLACK

WEST ELEVATION A

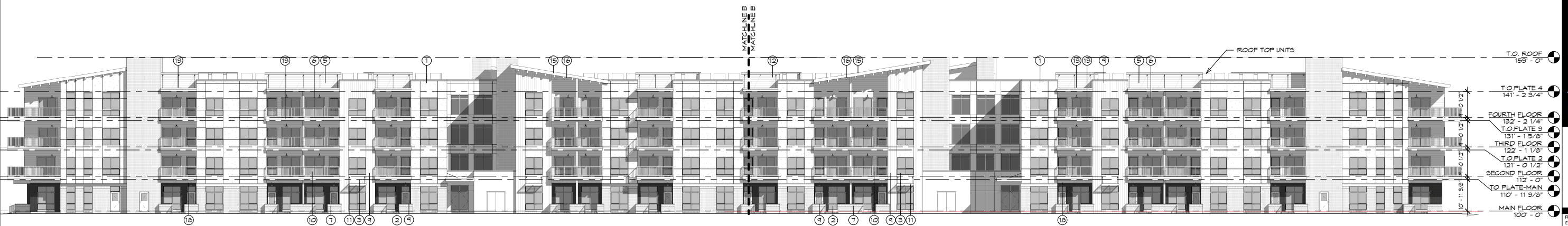
SCALE: 1/8" = 1'-0"

A-204

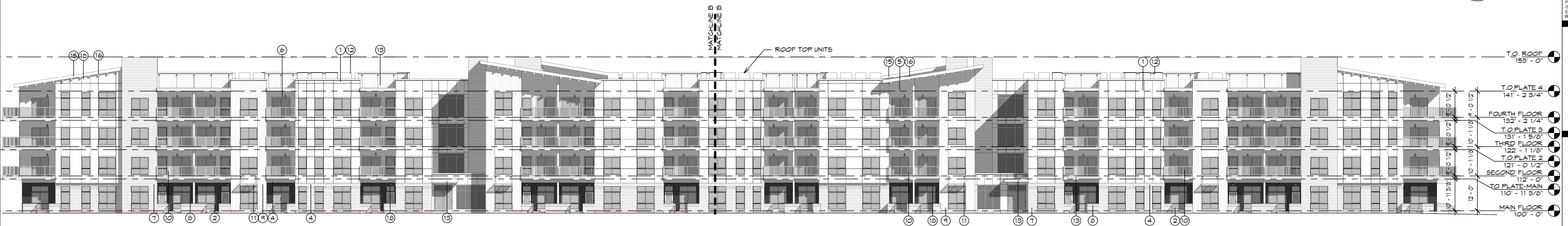
SOUTH ELEVATION B

SCALE: 1/8" = 1'-0"

A-204



WEST ELEVATION - OVERALL A
SCALE: 1/16" = 1'-0"



EAST ELEVATION - OVERALL B
SCALE: 1/16" = 1'-0"

ELEVATION KEYNOTES

- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
- 2 STUCCO - V-GROOVE TEXTURE - COLOR IRON ORE
- 3 STUCCO - 1" EIFS SYSTEM - COLOR BLACK MAGIC
- 4 STUCCO - TRIM - COLOR CITYSCAPE
- 5 LP SMART SIDE - COLOR CITYSCAPE
- 6 LP SMART SIDE TRIM - COLOR CITYSCAPE
- 7 THIN BRICK VENEER - COLOR FUEGO RED
- 8 PRECAST CONCRETE GAP / SILL - 1 VERTICAL BRICK COURSE BELOW
- 9 TRESPA COMPOSITE WOOD VERTICAL - COLOR MILLANO SABBIA
- 10 ALUMINUM RAILING 42" - COLOR BLACK
- 11 GS 100-35 6" AIRFOIL SUSPENDED ALUMINUM SUN SHADE - COLOR BLACK
- 12 SIGNAGE PROPOSAL TO BE SUBMITTED
- 13 BREAK METAL CANOPY / BALCONY- COLOR BLACK
- 14 ALUMINUM METAL PANEL - COLOR BLACK
- 15 METAL FASCIA - COLOR WEATHERED COPPER
- 16 WOOD COLOR - NATURAL PINE
- 17 STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
- 18 WALL SCONCE B.O. FIXTURE 3" ABOVE TRIM OR OPENING- STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
- 19 METAL PARAPET CAP - COLOR CITY SCAPE
- 20 METAL PARAPET CAP - COLOR DESERT WOOD
- 21 METAL PARAPET CAP - COLOR PURE WHITE



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QUINTANA AT COOLEY STATION
SHAW LTD
EAST APARTMENT BUILDING
ADDRESS TBD
GILBERT, ARIZONA 85295

JOB. NO.: 18256
DATE: 2020-02-24
DRAWN BY: Author

ISSUE RECORD:

REVISIONS:

A-201
OVERALL
EXTERIOR
ELEVATIONS



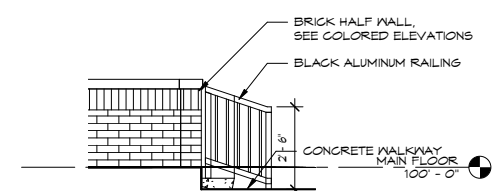
EAST ELEVATION- NORTH A
SCALE: 1/8" = 1'-0"



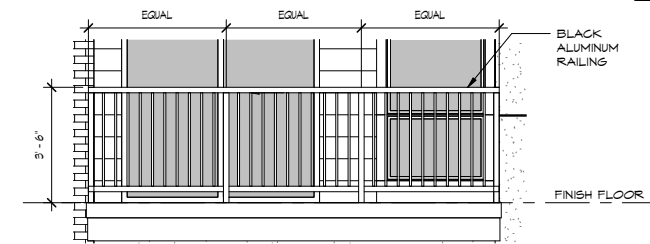
EAST ELEVATION- SOUTH B
SCALE: 1/8" = 1'-0"

- ELEVATION KEYNOTES
- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
 - 2 STUCCO - V-GROOVE TEXTURE - COLOR IRON ORE
 - 3 STUCCO - 1" EIFS SYSTEM - COLOR BLACK MAGIC
 - 4 STUCCO - TRIM - COLOR CITYSCAPE
 - 5 LP SMART SIDE - COLOR CITYSCAPE
 - 6 LP SMART SIDE TRIM - COLOR CITYSCAPE
 - 7 THIN BRICK VENEER - COLOR FUEGO RED
 - 8 PRECAST CONCRETE CAP / SILL - 1 VERTICAL BRICK COURSE BELOW
 - 9 TRESPA COMPOSITE MOOD VERTICAL - COLOR MILLANO SABBIA
 - 10 ALUMINUM RAILINGS 42" - COLOR BLACK
 - 11 CS 100-35 6" AIRFOIL SUSPENDED ALUMINUM SUN SHADE - COLOR BLACK
 - 12 SIGNAGE PROPOSAL TO BE SUBMITTED
 - 13 BREAK METAL CANOPY / BALCONY - COLOR BLACK
 - 14 ALUMINUM METAL PANEL - COLOR BLACK
 - 15 METAL FASCIA - COLOR WEATHERED COPPER
 - 16 WOOD COLOR - NATURAL PINE
 - 17 STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
 - 18 WALL SCONCE B.O. FIXTURE 3" ABOVE TRIM OR OPENING - STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
 - 19 METAL PARAPET CAP - COLOR CITY SCAPE
 - 20 METAL PARAPET CAP - COLOR DESERT WOOD
 - 21 METAL PARAPET CAP - COLOR PURE WHITE

GROUND FLOOR RAILING C
SCALE: 3/8" = 1'-0"



UPPER FLOOR RAILING D
SCALE: 3/8" = 1'-0"



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JOB. NO.: 18256
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NO.	DATE	DESCRIPTION

REVISIONS:

NO.	DATE	DESCRIPTION

A-206
EXTERIOR ELEVATIONS



WEST ELEVATION- NORTH 1
SCALE: 1/8" = 1'-0"
A-207



WEST ELEVATION- SOUTH 2
SCALE: 1/8" = 1'-0"
A-207

ELEVATION KEYNOTES

- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
- 2 STUCCO - V-GROOVE TEXTURE - COLOR IRON ORE
- 3 STUCCO - 1" EIFS SYSTEM - COLOR BLACK MAGIC
- 4 STUCCO - TRIM - COLOR CITYSCAPE
- 5 LP SMART SIDE - COLOR CITYSCAPE
- 6 LP SMART SIDE TRIM - COLOR CITYSCAPE
- 7 THIN BRICK VENEER - COLOR FUSGO RED
- 8 PRECAST CONCRETE CAP / SILL - 1 VERTICAL BRICK COURSE BELOW
- 9 TRESPA COMPOSITE WOOD VERTICAL - COLOR MILLANO SABBIA
- 10 ALUMINUM RAILING 42" - COLOR BLACK
- 11 CS 100-36 6" AIRFOIL SUSPENDED ALUMINUM SUN SHADE - COLOR BLACK
- 12 SIGNAGE PROPOSAL TO BE SUBMITTED
- 13 BREAK METAL CANOPY / BALCONY - COLOR BLACK
- 14 ALUMINUM METAL PANEL - COLOR BLACK
- 15 METAL FASCIA - COLOR WEATHERED COPPER
- 16 WOOD COLOR - NATURAL PINE
- 17 STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
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- 19 METAL PARAPET CAP - COLOR CITY SCAPE
- 20 METAL PARAPET CAP - COLOR DESERT WOOD
- 21 METAL PARAPET CAP - COLOR PURE WHITE



NORTH ELEVATION BW A
SCALE: 1/8" = 1'-0"
A-208



SOUTH ELEVATION BW B
SCALE: 1/8" = 1'-0"
A-208

ELEVATION KEYNOTES

- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
- 2 STUCCO - V-GROOVE TEXTURE - COLOR IRON ORE
- 3 STUCCO - 1" EIFS SYSTEM - COLOR BLACK MAGIC
- 4 STUCCO - TRIM - COLOR CITYSCAPE
- 5 LP SMART SIDE - COLOR CITYSCAPE
- 6 LP SMART SIDE TRIM - COLOR CITYSCAPE
- 7 THIN BRICK VENEER - COLOR FUEGO RED
- 8 PRECAST CONCRETE CAP / SILL - 1 VERTICAL BRICK COURSE BELOW
- 9 TRESPA COMPOSITE WOOD VERTICAL - COLOR MILLAANO SABBIA
- 10 ALUMINUM RAILING 42" - COLOR BLACK
- 11 GS 100-35 6" AIRFOIL SUSPENDED ALUMINUM SUN SHADE - COLOR BLACK
- 12 SIGNAGE PROPOSAL TO BE SUBMITTED
- 13 BREAK METAL CANOPY / BALCONY - COLOR BLACK
- 14 ALUMINUM METAL PANEL - COLOR BLACK
- 15 METAL FASCIA - COLOR WEATHERED COPPER
- 16 WOOD COLOR - NATURAL FINE
- 17 STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
- 18 WALL SCONCE B.O. FIXTURE 3" ABOVE TRIM OR OPENING- STANDING SEAM METAL ROOF - COLOR WEATHERED COPPER
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- 20 METAL PARAPET CAP - COLOR DESERT WOOD
- 21 METAL PARAPET CAP - COLOR PURE WHITE



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ADDRESS TBD

GILBERT, ARIZONA 85295

JOB. NO.: 18256

DATE: 2020-02-24

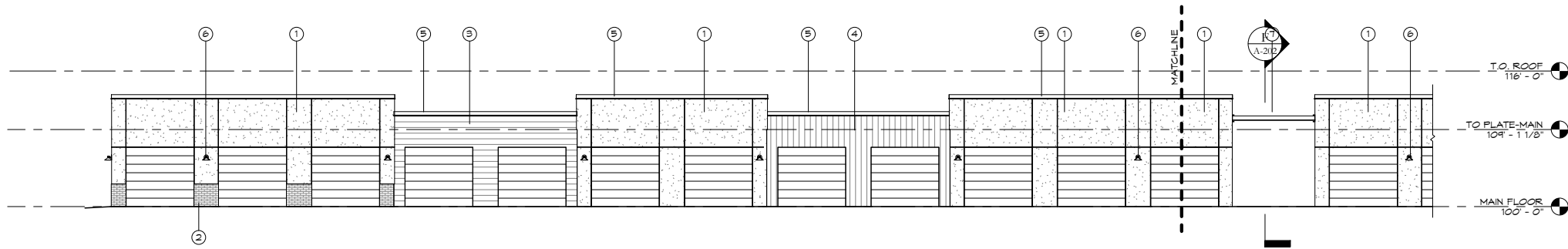
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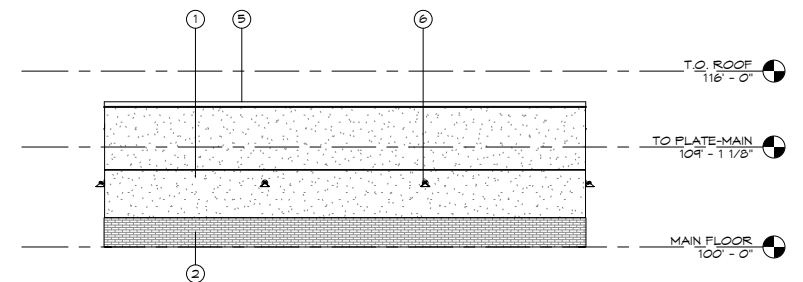
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A-208

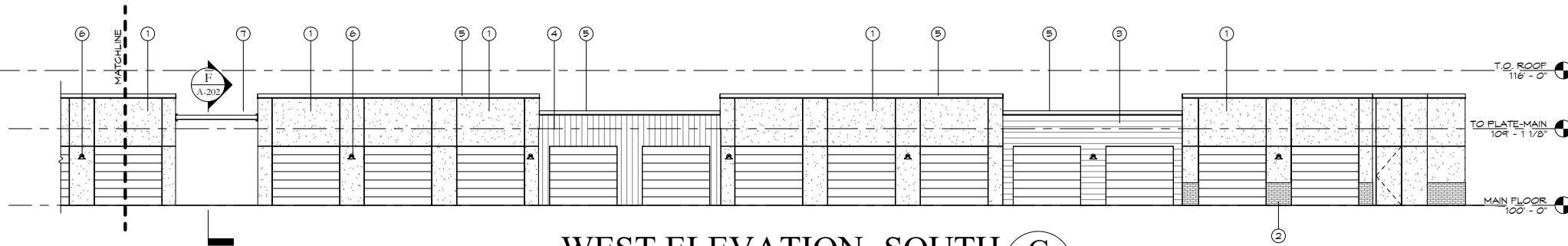
EXTERIOR
ELEVATIONS



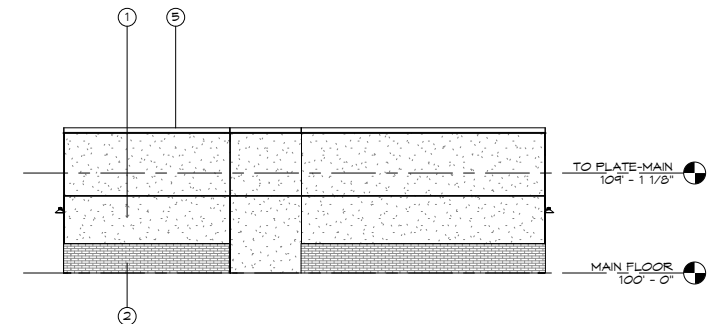
WEST ELEVATION- NORTH
SCALE: 1/8" = 1'-0"
A-202



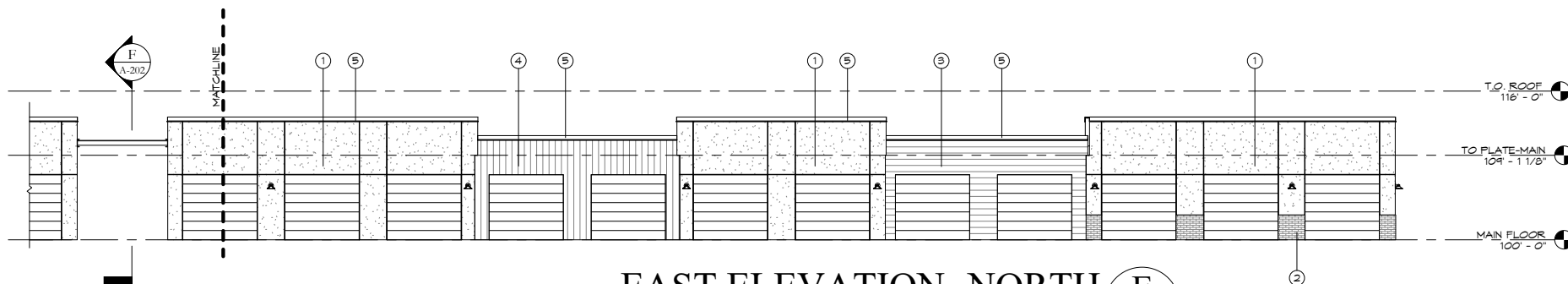
NOTH ELEVATION
SCALE: 1/8" = 1'-0"
A-202



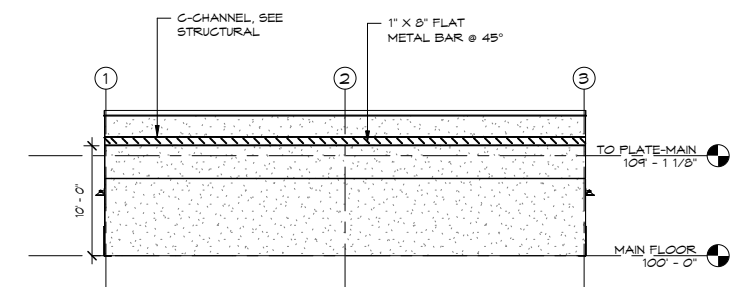
WEST ELEVATION- SOUTH
SCALE: 1/8" = 1'-0"
A-202



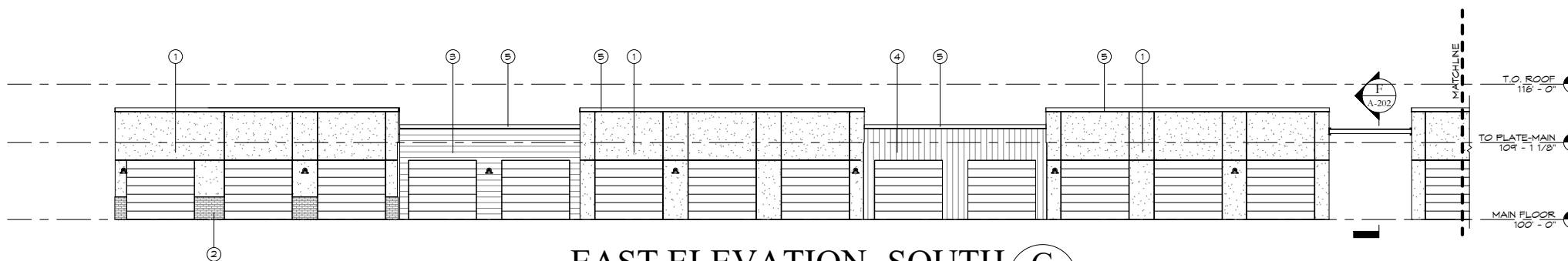
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
A-202



EAST ELEVATION- NORTH
SCALE: 1/8" = 1'-0"
A-202



ALIMINUM SHADE STRUCTURE
SCALE: 1/8" = 1'-0"
A-202



EAST ELEVATION- SOUTH
SCALE: 1/8" = 1'-0"
A-202

ELEVATION KEYNOTES

- 1 STUCCO - 1" EIFS SYSTEM - COLOR PURE WHITE
- 2 THIN BRICK VENEER - COLOR FUEGO RED
- 3 LP SMART SIDE - COLOR CITYSCAPE
- 4 TRESPA COMPOSITE WOOD VERTICAL - COLOR MILLANO SABBIA
- 5 METAL PARAPET CAP - COLOR TO MATCH SIDING BELOW
- 6 DARK SKY COMPLIANT WALL SCONCES - COLOR WEATHERED BRONZE
- 7 ALUMINUM SHADE STRUCTURE



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ADDRESS TBD
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JOB. NO.: 18256
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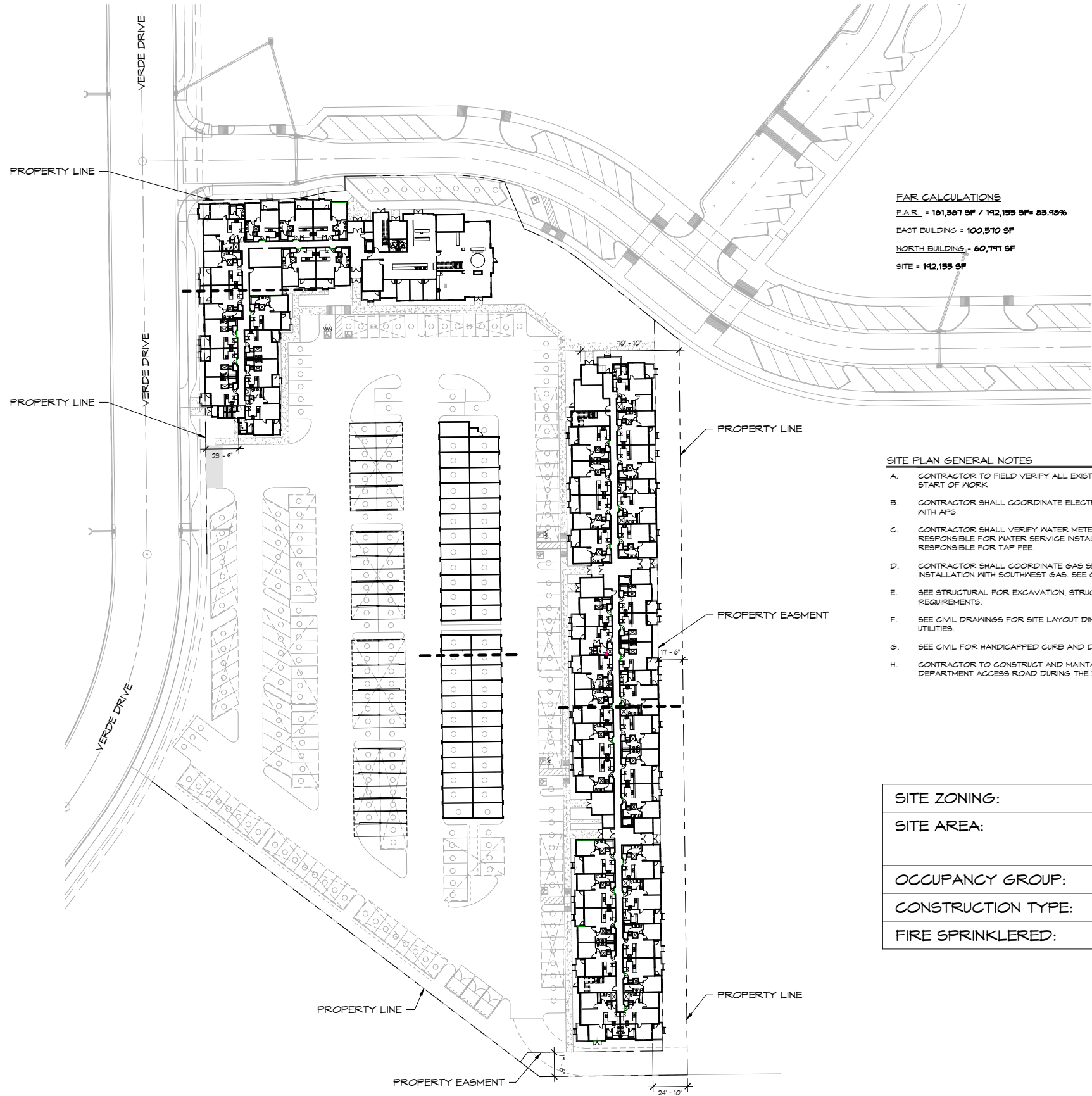
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REVISIONS:

A-202
EXTERIOR
ELEVATIONS







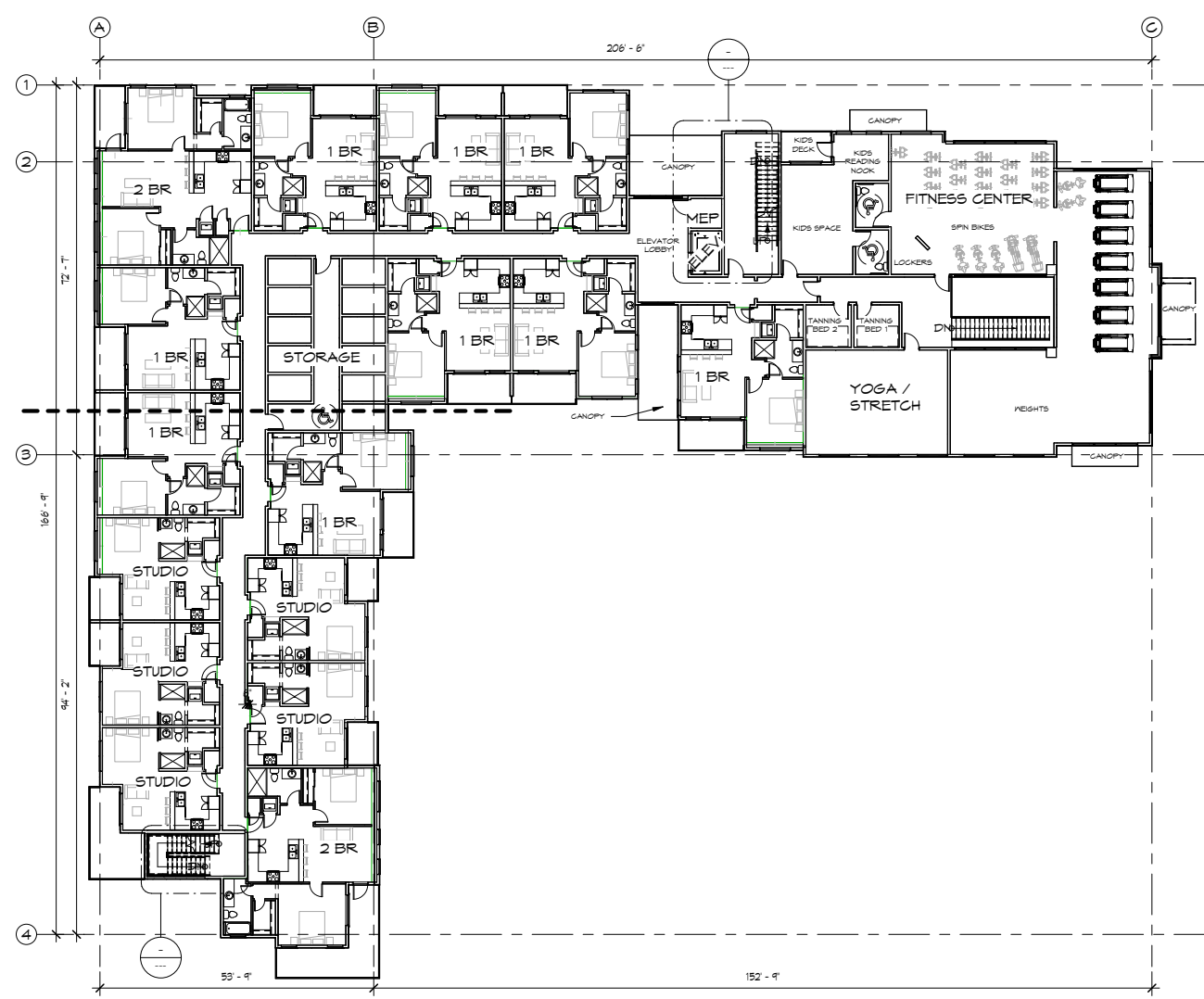
FAR CALCULATIONS
F.A.R. = 161,367 SF / 192,155 SF= 83.98%
EAST BUILDING = 100,510 SF
NORTH BUILDING = 60,747 SF
SITE = 192,155 SF

- SITE PLAN GENERAL NOTES**
- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
 - B. CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE INSTALLATION WITH APS
 - C. CONTRACTOR SHALL VERIFY WATER METER LOCATION. CONTRACTOR IS RESPONSIBLE FOR WATER SERVICE INSTALLATION. OWNER IS RESPONSIBLE FOR TAP FEE.
 - D. CONTRACTOR SHALL COORDINATE GAS SERVICE AND METER INSTALLATION WITH SOUTHWEST GAS. SEE CIVIL.
 - E. SEE STRUCTURAL FOR EXCAVATION, STRUCTURAL FILL AND BACKFILL REQUIREMENTS.
 - F. SEE CIVIL DRAWINGS FOR SITE LAYOUT DIMENSIONS, GRADING AND UTILITIES.
 - G. SEE CIVIL FOR HANDICAPPED CURB AND DETAILS
 - H. CONTRACTOR TO CONSTRUCT AND MAINTAIN AN APPROVED FIRE DEPARTMENT ACCESS ROAD DURING THE DURATION OF CONSTRUCTION.

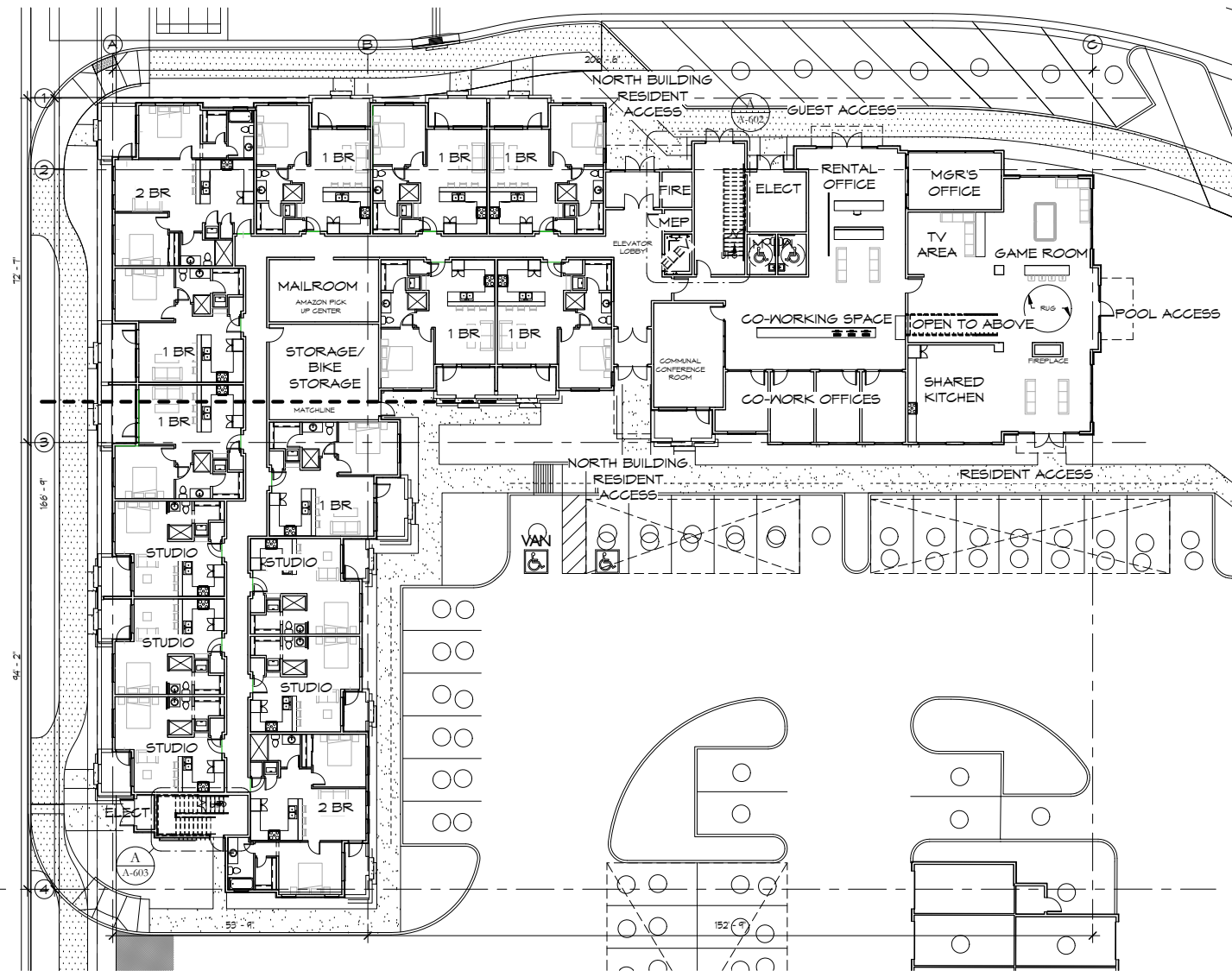
SITE ZONING:	GVC PAD
SITE AREA:	192,155 S.F. 4.4 ACRE
OCCUPANCY GROUP:	R2
CONSTRUCTION TYPE:	VA
FIRE SPRINKLERED:	YES, FULLY



ARCHITECTURAL SITE PLAN
SCALE: 1" = 40'-0"



OVERALL SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



OVERALL MAIN FLOOR PLAN
SCALE: 1/16" = 1'-0"

WALL TYPE LEGEND

- EXTERIOR WALL:**
2x6" WOOD STUDS @ 16" O.C.
2" ZIP SHEATHING, SIZE PER STRUCTURAL
EXT. FINISH PER ELEV.
R-22 BATT INSULATION WITH VAPOR BARRIER
5/8" GYPSUM BOARD
- INTERIOR WALL:**
2x6" WOOD STUDS @ 16" O.C.
UNFACED BATT INSULATION
5/8" GYPSUM BOARD EA. SIDE

GENERAL FLOOR PLAN NOTES

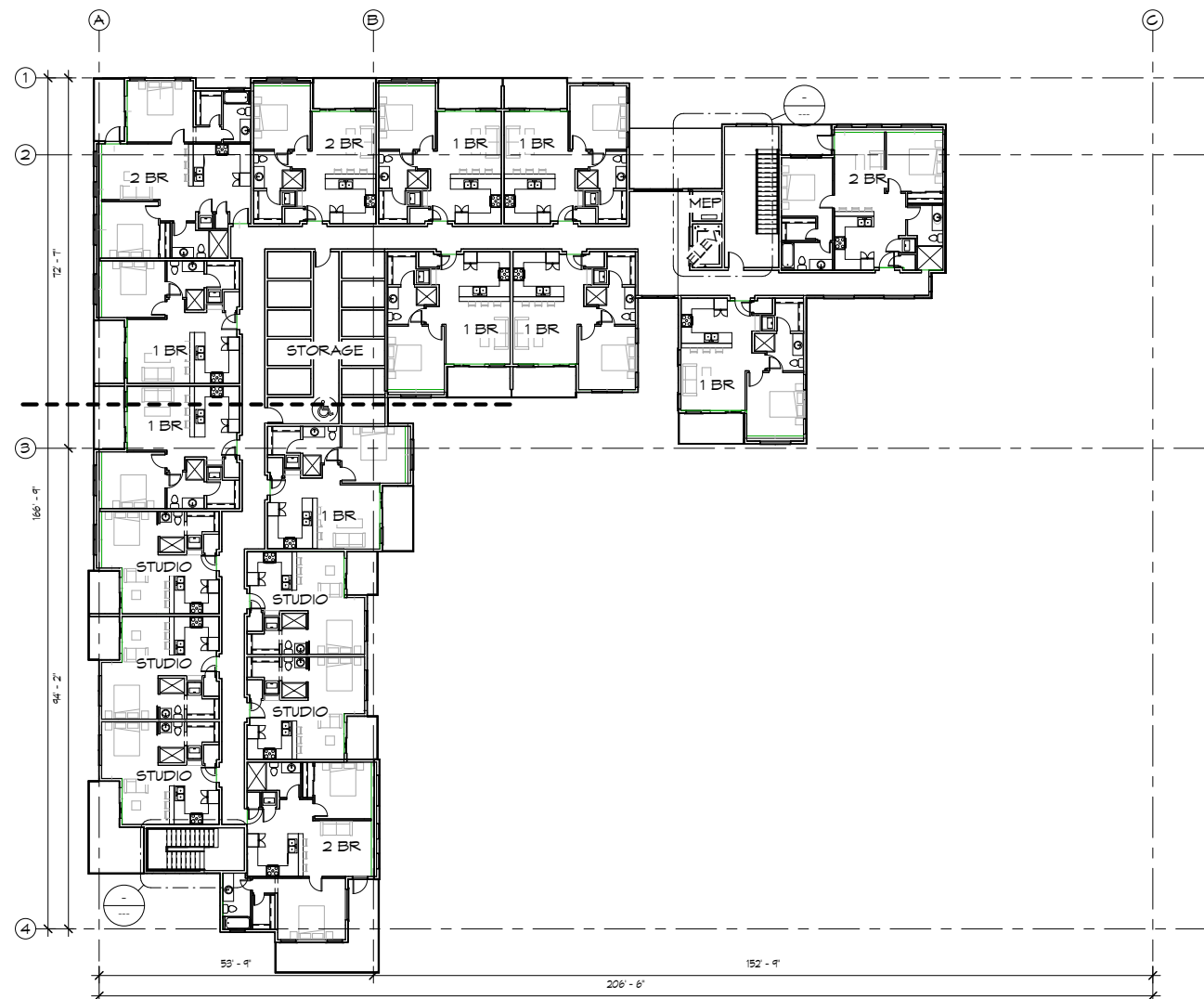
- A. ALL DIMENSIONS ARE TO FACE OFF STUD AT INTERIOR AND EXTERIOR WALLS.
- B. LOCATE ALL DOORS WITH 5" FROM FACE OF JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
- C. OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING RIGHT-OF-WAY PERMIT FOR UTILITIES & CITY BUILDING PERMIT.
- D. FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO TOWN OF GILBERT FIRE DEPARTMENT AS A DEFERRED SUBMITTAL BY FIRE SPRINKLER CONTRACTOR.
- E. FIRE ALARM SYSTEM SHALL BE PROVIDED TO TOWN OF GILBERT FIRE DEPARTMENT AS A DEFERRED SUBMITTAL BY FIRE ALARM CONTRACTOR.

UNIT MATRIX- NORTH BUILDING

LEVEL:	STUDIO	1 BR	2 BR	TOTAL
MAIN FLOOR	5	8	2	15
SECOND FLOOR	5	9	2	16
THIRD FLOOR	5	9	3	17
FOURTH FLOOR	5	9	3	17
TOTAL	20	35	11	65

GROSS SQUARE FOOTAGE SUMMARY

MAIN FLOOR	16,880 S.F.
SECOND FLOOR	16,835 S.F.
THIRD FLOOR	19,541 S.F.
FOURTH FLOOR	19,541 S.F.
TOTAL	60,797 S.F.



OVERALL FOURTH FLOOR PLAN

SCALE: 1/16" = 1'-0"

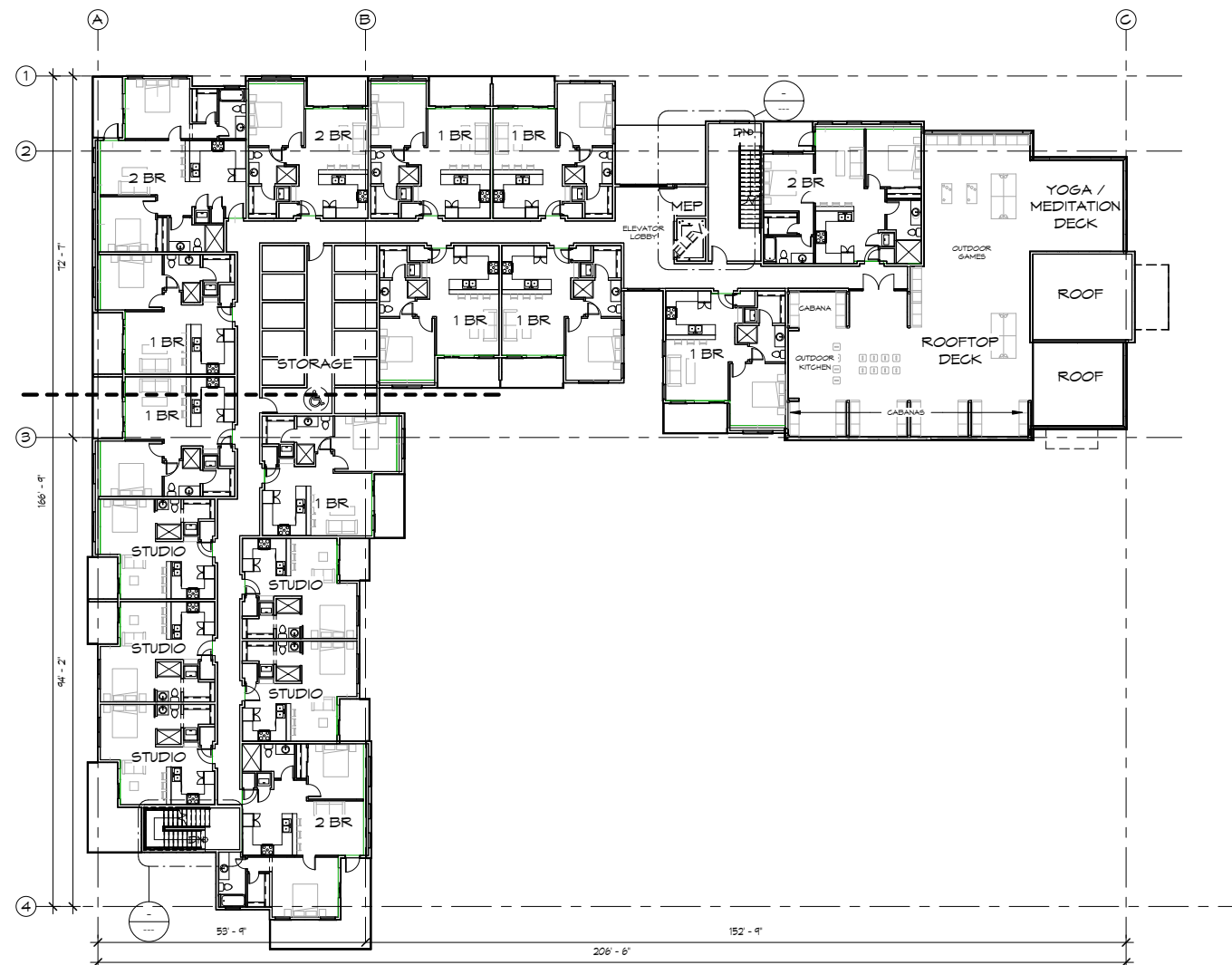


WALL TYPE LEGEND

- EXTERIOR WALL:**
2X6" WOOD STUDS @ 16" O.C.
ZIP SHEATHING, SIZE PER STRUCTURAL
EXT. FINISH PER ELEVS.
R-22 BATT INSULATION WITH VAPOR BARRIER
5/8" GYPSUM BOARD
- INTERIOR WALL:**
2X6" WOOD STUDS @ 16" O.C.
UNFACED BATT INSULATION
5/8" GYPSUM BOARD EA. SIDE

GENERAL FLOOR PLAN NOTES

- A. ALL DIMENSIONS ARE TO FACE OFF STUD AT INTERIOR AND EXTERIOR WALLS.
- B. LOCATE ALL DOORS WITH 5" FROM FACE OF JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
- C. OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING RIGHT-OF-WAY PERMIT FOR UTILITIES & CITY BUILDING PERMIT.
- D. FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO TOWN OF GILBERT FIRE DEPARTMENT AS A DEFERRED SUBMITTAL BY FIRE SPRINKLER CONTRACTOR.
- E. FIRE ALARM SYSTEM SHALL BE PROVIDED TO TOWN OF GILBERT FIRE DEPARTMENT AS A DEFERRED SUBMITTAL BY FIRE ALARM CONTRACTOR.



OVERALL THIRD FLOOR PLAN

SCALE: 1/16" = 1'-0"



UNIT MATRIX- NORTH BUILDING

LEVEL:	STUDIO	1 BR	2 BR	TOTAL
MAIN FLOOR	5	8	2	15
SECOND FLOOR	5	9	2	16
THIRD FLOOR	5	9	3	17
FOURTH FLOOR	5	9	3	17
TOTAL	20	35	11	65

GROSS SQUARE FOOTAGE SUMMARY

MAIN FLOOR	16,880 S.F.
SECOND FLOOR	16,835 S.F.
THIRD FLOOR	13,541 S.F.
FOURTH FLOOR	13,541 S.F.
TOTAL	60,197 S.F.



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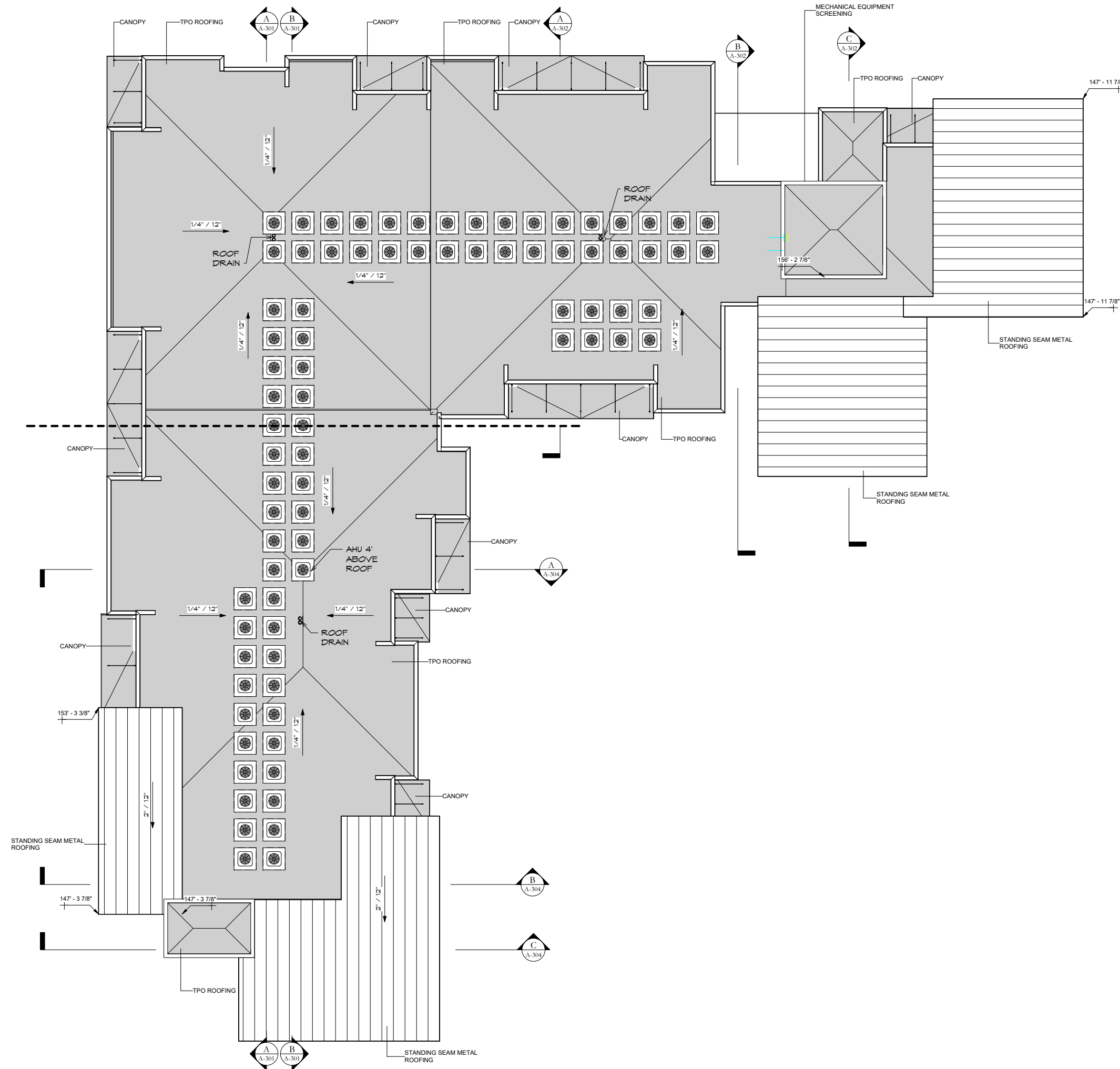
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ISSUE RECORD:

REVISIONS:

A-102

OVERALL
BUILDING PLANS



ROOF PLAN GENERAL NOTES

- A. ROOFING TO BE EPDM. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERAGE FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8\".
- B. ACCENT ROOFING TO BE STANDING SEAM METAL ROOFING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERAGE FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8\".
- C. PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.
- D. ALL 24 GA. PREFINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIPPLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.
- E. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.
- F. CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL. COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.
- G. ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.



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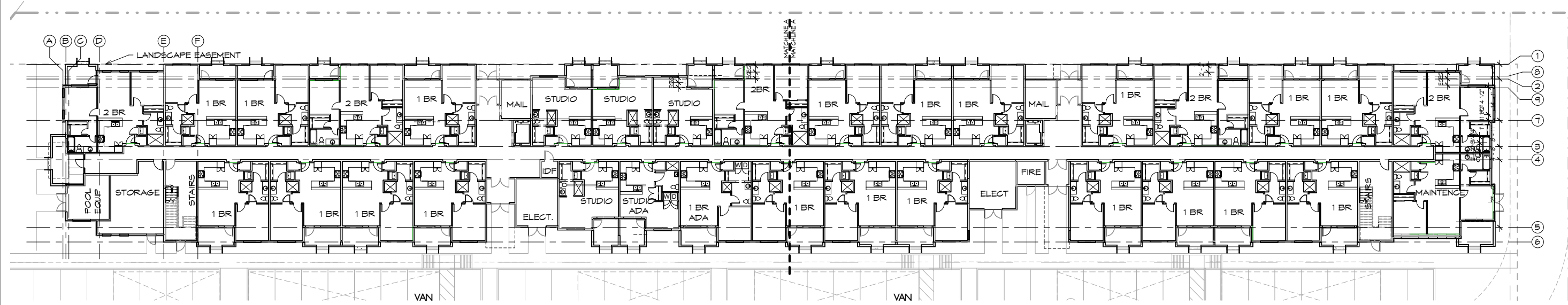
QUINTANA AT COOLEY STATION
SHAW LTD
NORTH APARTMENT BUILDING
ADDRESS TBD
GILBERT, ARIZONA 85295

JOB. NO.: 18256
DATE: 2020-02-10
DRAWN BY: Author

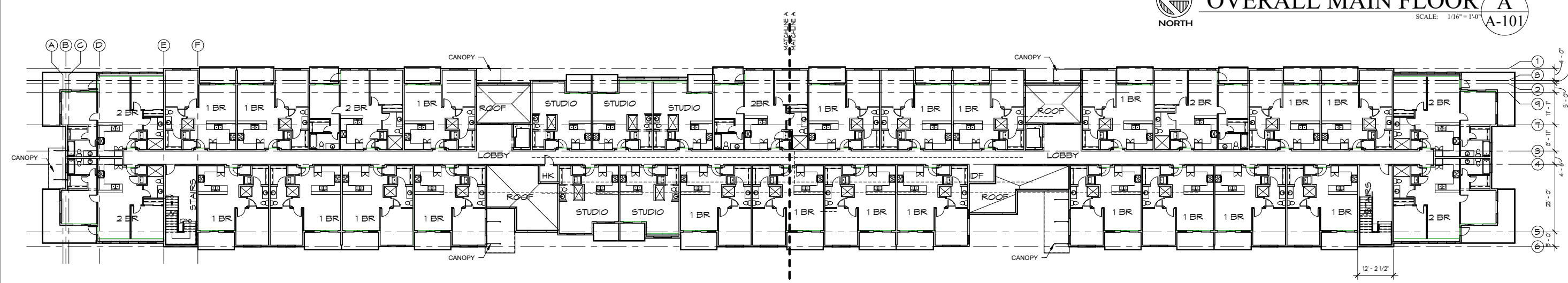
ISSUE RECORD:

REVISIONS:

A-113
OVERALL ROOF
PLAN



OVERALL MAIN FLOOR A
SCALE: 1/16" = 1'-0"
A-101



OVERALL SECOND FLOOR B
SCALE: 1/16" = 1'-0"
A-101

WALL TYPE LEGEND

EXTERIOR WALL:
2X6" WOOD STUDS @ 16" O.C.
ZIP SHEATHING, SIZE PER STRUCTURAL
EXT. FINISH PER ELEV.
R-22 BATT INSULATION WITH VAPOR BARRIER
5/8" GYPSUM BOARD

INTERIOR WALL:
2X6" WOOD STUDS @ 16" O.C.
UNFACED BATT INSULATION
5/8" GYPSUM BOARD EA. SIDE

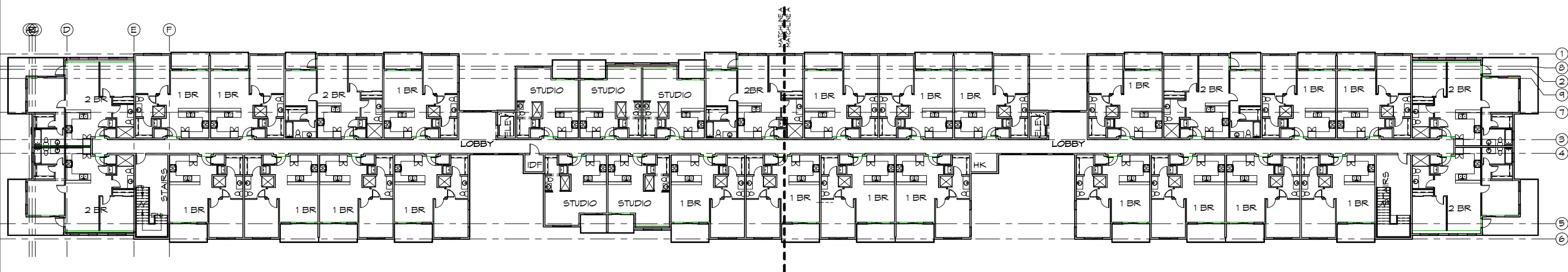
- GENERAL FLOOR PLAN NOTES**
- A. ALL DIMENSIONS ARE TO FACE OFF STUD AT INTERIOR AND EXTERIOR WALLS.
 - B. LOCATE ALL DOORS WITH 5" FROM FACE OF JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
 - C. OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INCLUDING RIGHT-OF-WAY PERMIT FOR UTILITIES & CITY BUILDING PERMIT.
 - D. FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO TOWN OF GILBERT FIRE DEPARTMENT AS A DEFERRED SUBMITTAL BY FIRE SPRINKLER CONTRACTOR.
 - E. FIRE ALARM SYSTEM SHALL BE PROVIDED TO TOWN OF GILBERT FIRE DEPARTMENT AS A DEFERRED SUBMITTAL BY FIRE ALARM CONTRACTOR.

UNIT MATRIX- EAST BUILDING

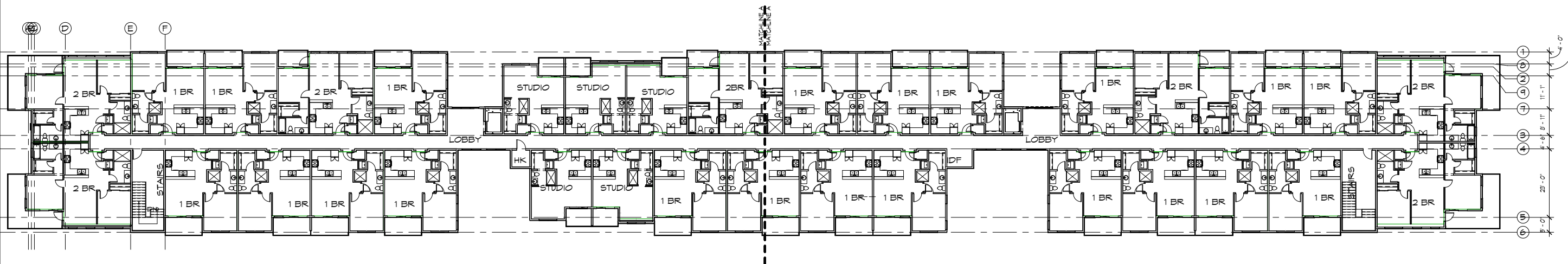
LEVEL:	STUDIO	1 BR	2 BR	TOTAL
MAIN FLOOR	5	21	5	31
SECOND FLOOR	5	21	7	33
THIRD FLOOR	5	21	7	33
FOURTH FLOOR	5	21	7	33
TOTAL	20	84	26	130

GROSS SQUARE FOOTAGE SUMMARY

MAIN FLOOR	26,059 S.F.
SECOND FLOOR	24,837 S.F.
THIRD FLOOR	24,837 S.F.
FOURTH FLOOR	24,837 S.F.
TOTAL	100,570 S.F.



OVERALL THIRD FLOOR
SCALE: 1/16" = 1'-0"



OVERALL FOURTH FLOOR
SCALE: 1/16" = 1'-0"

WALL TYPE LEGEND

- EXTERIOR WALL:**
2X6" WOOD STUDS @ 16" O.C.
2" P SHEATHING, SIZE PER STRUCTURAL
EXT. FINISH PER ELEV.
R-22 BATT INSULATION WITH VAPOR BARRIER
5/8" GYPSUM BOARD
- INTERIOR WALL:**
2X6" WOOD STUDS @ 16" O.C.
UNFACED BATT INSULATION
5/8" GYPSUM BOARD EA. SIDE

GENERAL FLOOR PLAN NOTES

- A. ALL DIMENSIONS ARE TO FACE OFF STUD AT INTERIOR AND EXTERIOR WALLS.
- B. LOCATE ALL DOORS WITH 5" FROM FACE OF JAMB TO ADJACENT WALL, UNLESS NOTED OTHERWISE.
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UNIT MATRIX- EAST BUILDING

LEVEL:	STUDIO	1 BR	2 BR	TOTAL
MAIN FLOOR	5	21	5	31
SECOND FLOOR	5	21	7	33
THIRD FLOOR	5	21	7	33
FOURTH FLOOR	5	21	7	33
TOTAL	20	84	26	130

GROSS SQUARE FOOTAGE SUMMARY

MAIN FLOOR	26,054 S.F.
SECOND FLOOR	24,837 S.F.
THIRD FLOOR	24,837 S.F.
FOURTH FLOOR	24,837 S.F.
TOTAL	100,510 S.F.



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QUINTANA AT COOLEY STATION
SHAW LTD
EAST APARTMENT BUILDING
ADDRESS TBD
GILBERT, ARIZONA 85295

JOB. NO.: 18256
DATE: 2020-02-24
DRAWN BY: Author

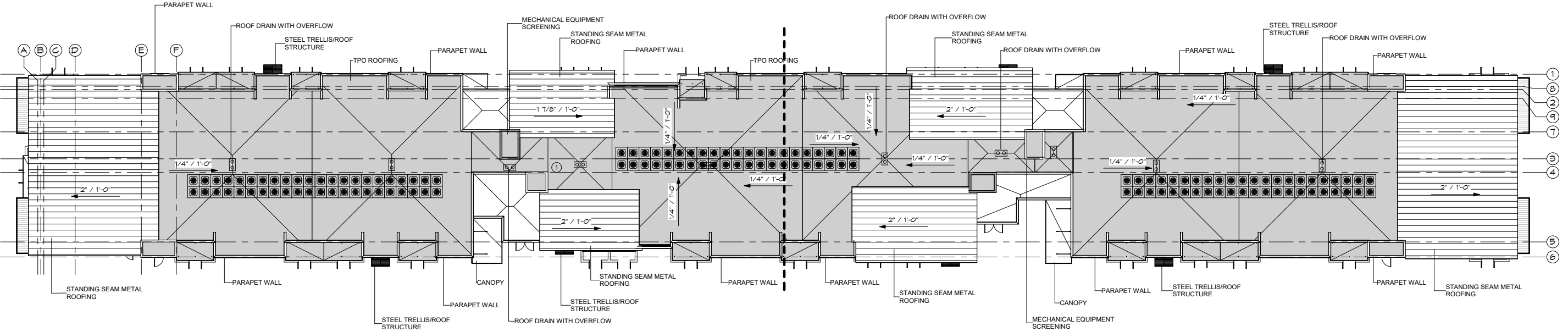
ISSUE RECORD:

REVISIONS:

A-108
OVERALL ROOF
PLAN

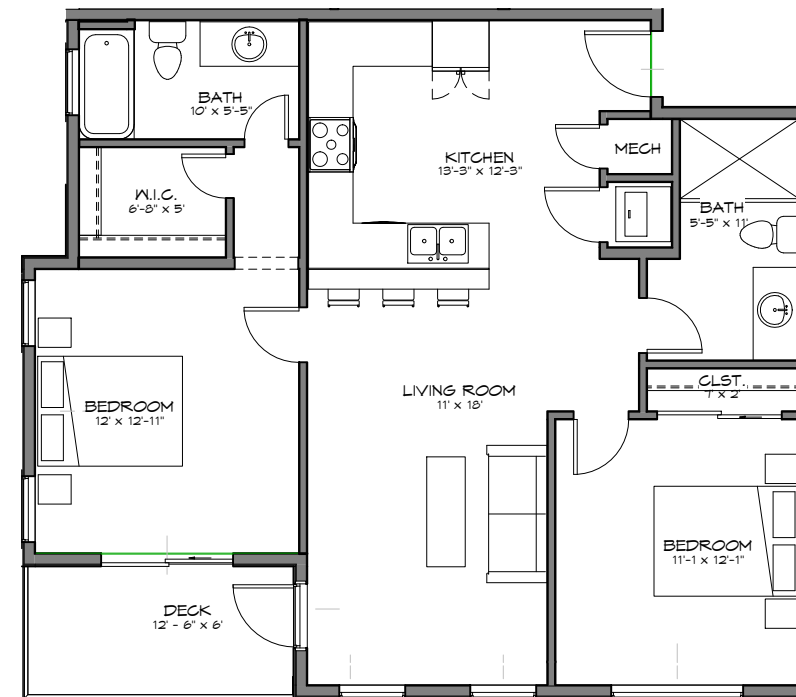
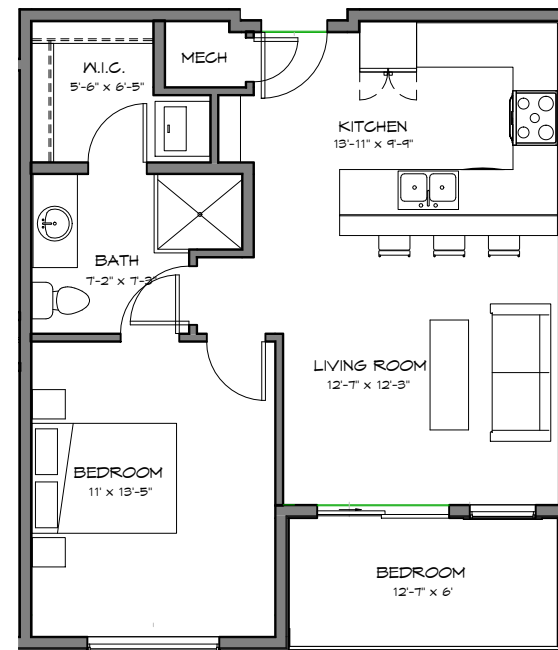
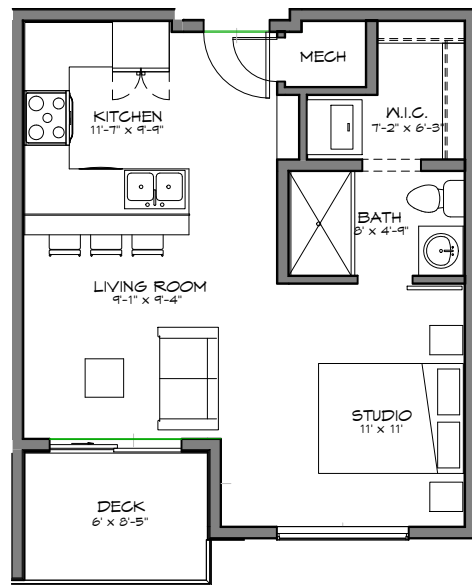
ROOF PLAN GENERAL NOTES

- A. ROOFING TO BE EPDM. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERLAP FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8". INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING OR STAINING.
- B. ACCENT ROOFING TO BE STANDING SEAM METAL ROOFING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERLAP FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES TO 1/8". INSTALL ALL ROOFING WITHOUT MARRING, FOLDING, TEARING OR STAINING.
- C. PROVIDE ALL GALVANIZED NAILS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.
- D. ALL 24 GA. PREFINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RUFFLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.
- E. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.
- F. CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL. COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.
- G. ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.



OVERALL ROOF PLAN

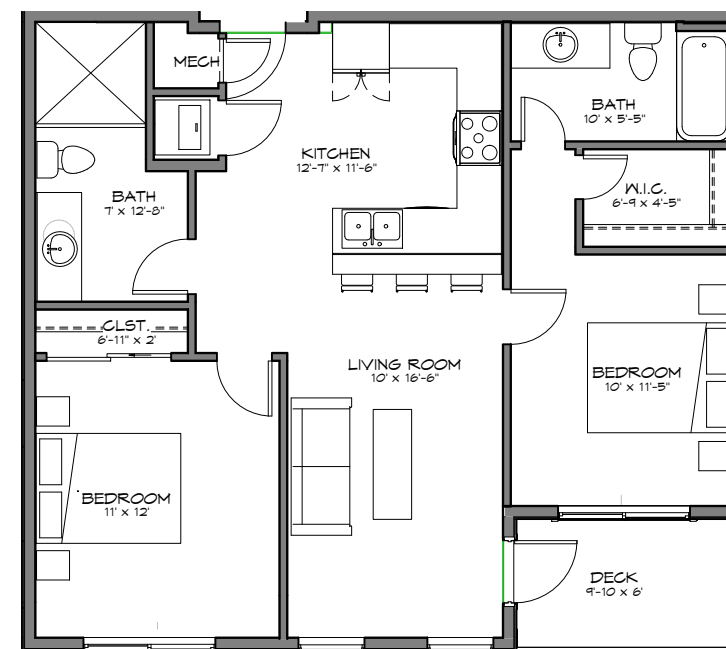
SCALE: 1/16" = 1'-0"



STUDIO UNIT 423 NSF

1BR UNIT 591 NSF

2BR CORNER UNIT 923 NSF



2BR END UNIT 845 NSF

2BR UNIT 821 NSF



**REYNOLDS ASH
+ ASSOCIATES**

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QUINTANA AT COOLEY STATION
SHAW LTD

NORTH APARTMENT BUILDING
ADDRESS TBD
GILBERT, ARIZONA 85295

JOB. NO.: 18256

DATE: 2020-02-10

DRAWN BY: Author

ISSUE RECORD:

REVISIONS:

A-112

UNIT FLOOR PLANS



**PROGRESS SET
NOT FOR CONST.**

EAST APARTMENT BUILDING
ADDRESS TBD
GILBERT, ARIZONA 85295



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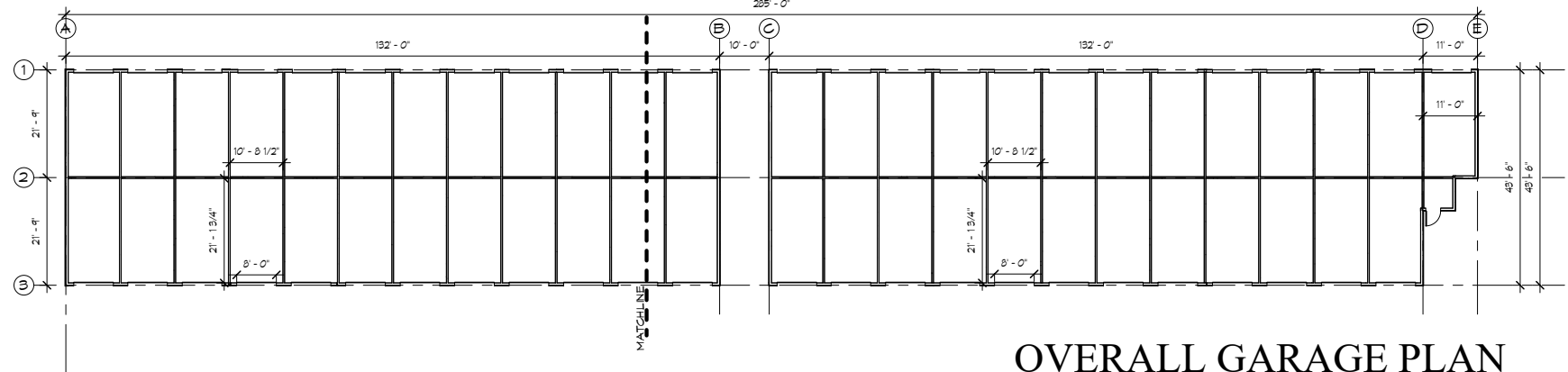
QUINTANA AT COOLEY STATION
SHAW LTD
TYPICAL GARAGE BUILDING
ADDRESS TBD
GILBERT, ARIZONA 85295

JOB. NO.: 18256
DATE: 2020-02-24
DRAWN BY: RA+AA

ISSUE RECORD:

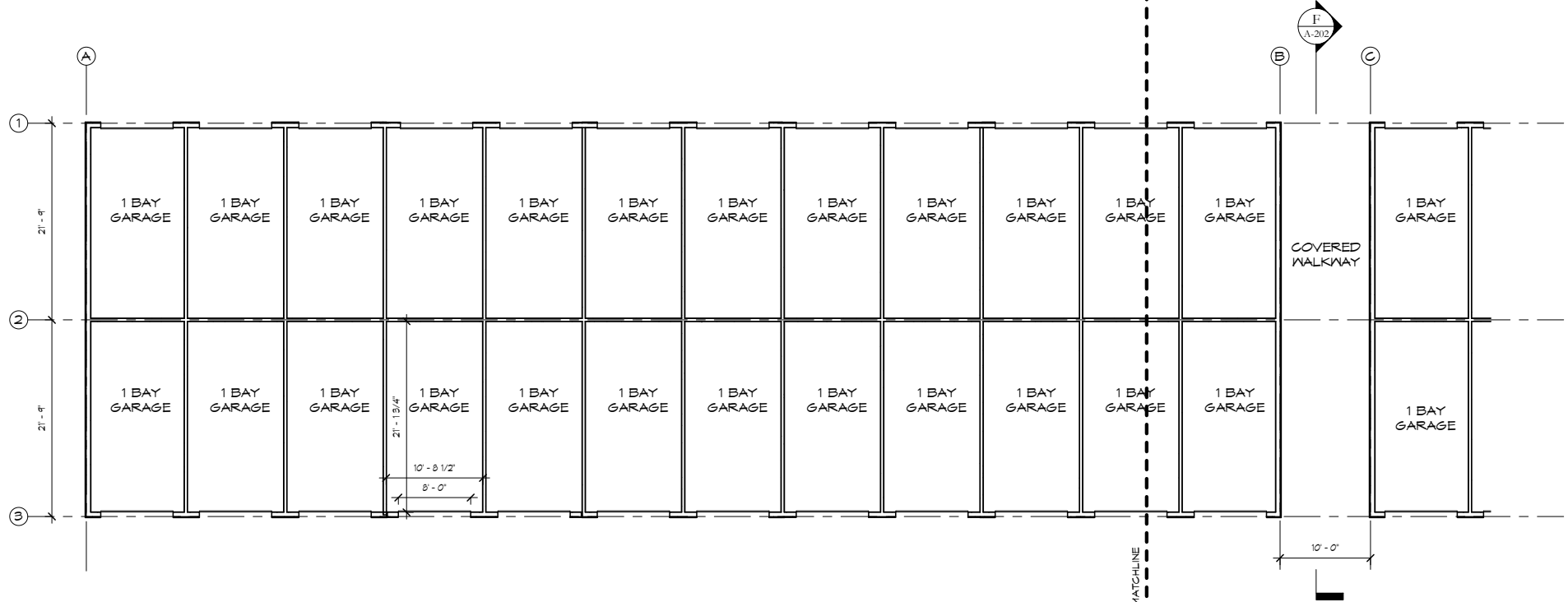
REVISIONS:

A-101
MAIN FLOOR PLAN



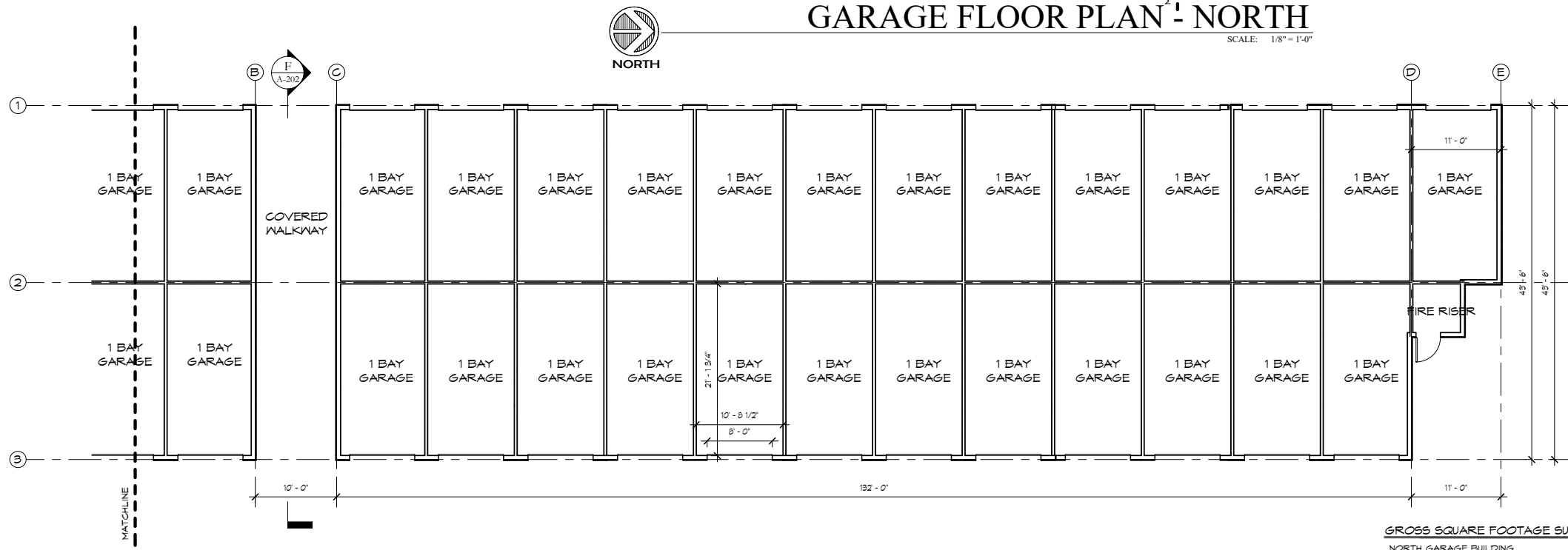
OVERALL GARAGE PLAN

SCALE: 1/16" = 1'-0"



GARAGE FLOOR PLAN - NORTH

SCALE: 1/8" = 1'-0"



GARAGE FLOOR PLAN - SOUTH

SCALE: 1/8" = 1'-0"

GROSS SQUARE FOOTAGE SUMMARY

NORTH GARAGE BUILDING	5,811 S.F.
SOUTH GARAGE BUILDING	6,072 S.F.
TOTAL	11,883 S.F.
COVERED WALKWAY	451 S.F.

Commissioner Cavenee noted the east edge of the street frontage was a shared driveway so they would be sharing an existing curb cut.

Mr. Newman stated there was no mention of sharing that curb cut.

Commissioner Cavenee wanted to make sure that was paved, even if some of it was temporary, in order to have a clean access on the site. He tended to agree on the colors and articulation. He thought the colors on the elevation were a little extreme compared to the color board which shows more muted colors. He was not sure that the colors were problematic. It is kind of plain, although it is an industrial building. He agreed that it would be nice to have a little more work on the windows and accenting the entry. Because it is an industrial building, he did not have any problem with the flat parapet and noted it was stepped from the front to the back. He suggested bringing the corners up or bring something up in the center that highlights the entry. He agreed with staff to push a little more articulation on the exterior without costing too much money for an industrial use. He felt the colors were okay, although it might be nice to add a little bit more of a punch.

Chair Andersen agreed that the presentation of the elevations does not do justice to the building. The elevations look like they could be interesting with a lot going on, but the floor plan is plain on all four sides. He felt there was a lot of black on this building that is really a different material. They need to match what is on the color board. The vertical corners look like they pop out, but that is not shown on the floor plans. He suggested putting shadows on the building to show where there are overhangs and canopies. He agreed with staff that there needs to be some horizontal breaks or something to help make the building fit a little bit more with the surrounding buildings in the area.

4. UP19-35 QUINTANA AT VERDE: Request to approve a Conditional Use Permit for approx. 4.4 acres located south of the southeast corner of Verde Drive and Williams Field Road to allow residential units on the ground floor in the Gateway Village Center (GVC) zoning district.

DR19-109 QUINTANA AT VERDE: Site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 4.44 acres, generally located south of the southeast corner of Verde Drive and Williams Field Road, and zoned Gateway Village Center (GVC) with a Planned Area Development (PAD) overlay.

Planner Stephanie Bubenheim presented Quintana at Verde, requesting a Conditional Use Permit and a Design Review. This project is part of the Verde at Cooley Station on the southeast corner of Recker and Williams Field Roads. The overall Verde at Cooley Station area was reviewed with the various phases. The Use Permit is being requested to allow ground-floor residential in the Gateway Village Center (GVC) zoning district. During the prior rezoning cases, future multi-family was discussed as part of the Verde at Cooley Station development. This is now moving forward with the actual permit required for multi-family and the Design Review case.

There is an internal private drive going east-west along the Verde at Cooley Station project that was approved. Verde Drive will be a future collector right-of-way. Site access will be along Verde Drive which will be installed with the Verde at Cooley Station project. Quintana will have one main access and an emergency access at the southwest corner. The buildings are oriented towards the project to the north and they will be sharing the access of that internal private drive. There will be some parking spaces specific to Quintana. Both buildings are four stories with a total of 197 units, almost 39 DU/Acre. One of the buildings is oriented towards the pedestrian corridor as part of the rezoning requirements. The pedestrian corridor is meant to be a multi-use path to relocate people off of the street to get to the commuter rail from Williams Field. It is 35 feet wide and this site is required to put in half. It is currently under discussion with the developers and staff for what that corridor cross section will look like. The parking is internal to the site and there is an emphasis of placing buildings towards the street. Where that is not available, staff is requesting artistic site walls.

The landscape plan exceeds by far the GVC requirements of only 5% of the site. Some focal amenity areas will connect to the pedestrian corridor. The pool amenity is connected to Building 1 and has feature walls that face the commercial center. This is proposed as an art wall with colored glass for transparency into the pool area, metal features along the internal area, as well as attached vines looking out to the pedestrian corridor. The site wall along Verde Drive will use the Cooley Station brick parking screen wall seen commonly in this area. They are also proposing angled seat walls with a metal wave design. Staff has emphasized using art and the height of the walls to activate the space.

The colors and materials do pull from the Verde at Cooley Station Design Guidelines approved earlier this year, including reclaimed wood, corrugated metal, the Cooley Station brick, and horizontal siding.

Staff would like to see the first-floor units activated into the space as well as more articulation with the patio entrances. Building 1 contains the leasing office, fitness amenity, and proposed rooftop deck.

Building 2 is on the east side facing the corridor with first floor residential units that allow direct access to the pedestrian corridor trail. The garages will use the same colors and material as the buildings. Some of the previously approved Cooley Station developments were shown for comparison.

Staff is seeking input on the colors and materials, the building elevations, how the patio railings tie in to the space, the transition of materials, the first-floor unit design and architecture, and the art wall along Verde Drive.

COMMENTS/QUESTIONS FROM THE COMMISSION:

Commissioner Johns felt a lot of the diverse materials that Cooley Station has to offer were used in this project. It is refreshing to see materials other than stucco. He applauded the applicant on the use of materials and felt there was a lot of movement in the buildings. He did not have an issue with the colors and materials. As far as the patio railings, it looked like they were trying to make those patios float on the corners. It may just be early in the development and railings are usually the last thing a developer thinks about. He felt they did a good job with the transition of materials. He would like to see a little bit more on the garages. What is the concern with the patios?

Ms. Bubenheim stated the patios are used as an additional doorway entry into the first-floor units. Since they are seeking a Conditional Use Permit, staff had asked that the first-floor units be more outstanding to the project. The Cooley Station area incorporates brownstones or stoops, so staff has encouraged that. The applicant has shown that they are using the patio as a space and they do have stoops, although staff feels it is not enough of a feature.

Commissioner Johns noted we do not see stoops very often in Arizona. If this is their main entry, he could understand asking for a stoop as staff suggested, like in Boston or Chicago. He did not think that was the applicant's intent. He thought they were just creating a patio that has an exit.

Ms. Bubenheim stated there will be two entries on the first floor.

Commissioner Johns felt the décor wall along Verde was awesome. It brings some interest and is something different than what we normally see. Overall, he felt they have done a great job with a variety of materials from Cooley Station. It will be a good addition to tie into the surrounding area.

Commissioner Cavenee thought the colors and materials were a little dark, but will come off very rich. As they are part of the Design Guidelines, he felt they were fine. He saw a lot of movement and different elements in the elevations. He would like to see the patio railings be a little beefier, although it is early in their design phase and suggested letting that develop. The transition of materials was fine. In terms of the first-floor units, he liked the renderings shown and the idea of activating those spaces as long as they can remain secure. Creating stoops or some unique access for the first-floor units would be nice. He also liked the art wall.

Chair Andersen thought it was an interesting looking building, although there are too many different materials. There are five different types of materials with the reclaimed wood, siding, brick, corrugated metal, and stucco. The materials produce a bunch of horizontal and vertical lines and it will be very busy looking. His first thought

was that it looked like something that would be at the bottom of a ski mountain with the amount of reclaimed wood. Sometimes less is more. The garages also look like they are trying to take the building and compress it down into a little one-story garage building. He loved the use of materials and getting away from the stucco, but recommended scaling it down. He may be the only one with this opinion. You don't need to be an architect or design professional to have an opinion.

Commissioner Cavenee could see how that could be viewed as a lot of materials.

5. ST19-05 LAKEVIEW TRAILS SE AT MORRISON RANCH: 6 new standard plans for 72 lots on approximately 4 acres generally located north of the northwest corner of Recker and Warner Roads and is zoned Single Family-7 with a Planned Area Development (PAD) overlay.

Planner Josh Rogers presented Lakeview Trails SE at Morrison Ranch, standard plans for approximately 72 lots on 4 acres in the Morrison Ranch Subdivision northwest of Recker and Warner Roads. The applicant is bringing forth six plans and four elevation styles with three to five color schemes per plan. Staff has no outstanding comments. The Morrison Ranch Design Board has reviewed and approved the proposed standard plans. Staff is looking for general feedback from the Commission on these standard plans and elevations. Staff is pleased with how these plans came out.

COMMENTS/QUESTIONS FROM THE COMMISSION:

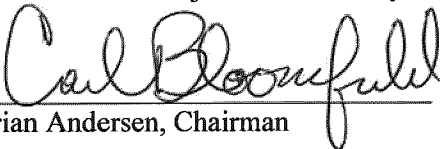
Chair Andersen agreed that the standard plans were very nice looking. The Commission had no further comments.

6. Discussion of Regular Meeting Agenda:

Chair Andersen stated if there were no requests to speak regarding Items 14, Z19-10 and 15, S19-05, Belrose, it was recommended to move those items to the Consent agenda. The Commission agreed.

ADJOURN STUDY SESSION

Chair Andersen adjourned the Study Session at 6:11 p.m.


Brian Andersen, Chairman

ATTEST:


Dana Desing, Recording Secretary